

# ANNEX REBUILD AND ADDITION

335-339 WEST FOURTH STREET  
BETHLEHEM, PA 18015

## NEW BETHANY

333 WYANDOTTE STREET, BETHLEHEM, PA 18015

# SPILLMAN FARMER ARCHITECTS

ARCHITECTURE

CAMPUS PLANNING

INTERIOR DESIGN

1720 SPILLMAN DRIVE, SUITE 200  
BETHLEHEM, PA. 18015-2169  
TEL. (610) 865-2621  
WWW.SPILLMANFARMER.COM

### LIST OF DRAWINGS

ARCHITECTURAL COVER SHEETS		
NO.	DRAWING NAME	REVISION
A0.00	COVER SHEET	

SITE/CIVIL DRAWINGS		
NO.	DRAWING NAME	REVISION
SU-1	TOPOGRAPHIC SURVEY PLAN	

ARCHITECTURAL DRAWINGS		
NO.	DRAWING NAME	REVISION
A0.61	ANNEX FIRST FLOOR - DEMOLITION PLAN	
A0.62	ANNEX SECOND FLOOR - DEMOLITION PLAN	
A0.63	ANNEX THIRD FLOOR - DEMOLITION PLAN	
A0.64	EXISTING EXTERIOR ELEVATIONS	
A1.01	ANNEX FIRST FLOOR - PROPOSED PLAN	
A1.02	ANNEX SECOND FLOOR - PROPOSED PLAN	
A1.03	ANNEX THIRD FLOOR - PROPOSED PLAN	
A2.00	PROPOSED EXTERIOR ELEVATIONS	
A2.01	PROPOSED EXTERIOR ELEVATIONS	

## Spillman Farmer Architects

1720 Spillman Drive, Suite 200 | Bethlehem, PA 18015  
Phone: 610.865.2621 | Website: www.spillmanfarmer.com

**SITE / CIVIL ENGINEER**  
BARRY ISETT & ASSOCIATES, INC., 5420  
CRACKERSPORT ROAD, ALLENTOWN, PA 18104

**LANDSCAPE ARCHITECT**  
N/A

**STRUCTURAL ENGINEER**  
BARRY ISETT & ASSOCIATES, INC., 5420  
CRACKERSPORT ROAD, ALLENTOWN, PA 18104

**MECHANICAL ELECTRICAL PLUMBING**  
BARRY ISETT & ASSOCIATES, INC., 5420  
CRACKERSPORT ROAD, ALLENTOWN, PA 18104

**FIRE PROTECTION ENGINEER**  
BARRY ISETT & ASSOCIATES, INC., 5420  
CRACKERSPORT ROAD, ALLENTOWN, PA 18104

**TELECOM ENGINEER**  
N/A

**AUDIO VISUAL ENGINEER**  
N/A

**SECURITY ENGINEER**  
N/A

**ACOUSTICAL ENGINEER**  
N/A

MATERIALS SYMBOLS	ANNOTATION SYMBOLS	ABBREVIATIONS
EARTH	DENOTES "TRUE NORTH" DENOTES "PLAN NORTH"	A/C AIR CONDITIONING
CRUSHED STONE	SECTION/ELEVATION I.D. NO. SHEET NO. WHERE SECT./ELEV. IS DRAWN	AR ARCHITECT/ARCHITECT
PLASTER/GYPSUM BOARD	DETAIL I.D. NO. SHEET NO. WHERE DETAIL IS DRAWN	AR ANCHOR ROD
BRICK	INTERIOR ELEV. I.D. NO.	AS ABOVE
MASONRY	SHEET NO. WHERE INTERIOR ELEV. IS DRAWN	ACCU ACOUSTICAL
STEEL	GRID NO.	ACCUB ACOUSTICAL CEILING PANEL
FINISHED WOOD	REFERENCE LEVEL	ACCUB ACOUSTICAL CEILING PANEL
WOOD, ROUGH	CEILING ELEVATION	ACCUB ACOUSTICAL CEILING PANEL
RIGID INSULATION	CEILING MATERIAL	ACCUB ACOUSTICAL CEILING PANEL
CONCRETE	WALL TYPE	ACCUB ACOUSTICAL CEILING PANEL
PLYWOOD	WINDOW / CURTAIN WALL / STOREFRONT / VISION PANEL TYPE	ACCUB ACOUSTICAL CEILING PANEL
BATT INSULATION	SPOT ELEVATION	ACCUB ACOUSTICAL CEILING PANEL
EXISTING PARTITION	SPECIALTY EQUIPMENT	ACCUB ACOUSTICAL CEILING PANEL
NEW PARTITION	REVISION MARK & REVISION CLOUD	ACCUB ACOUSTICAL CEILING PANEL
CONCRETE WALL	DOOR NO.	ACCUB ACOUSTICAL CEILING PANEL
MASONRY WALL	NEW DOOR WHERE 90° SWING SHOWN	ACCUB ACOUSTICAL CEILING PANEL
	EXISTING DOOR WHERE 45° SWING SHOWN	ACCUB ACOUSTICAL CEILING PANEL
	ROOM NAME	ACCUB ACOUSTICAL CEILING PANEL
	ROOM NO.	ACCUB ACOUSTICAL CEILING PANEL
	ROOM AREA	ACCUB ACOUSTICAL CEILING PANEL
	KEY NOTE	ACCUB ACOUSTICAL CEILING PANEL

### LOCATION MAP

335-339 WEST FOURTH STREET

### DRAWING HISTORY

NO.	ISSUE DATE	DESCRIPTION

CURRENT ISSUE  
HCC SUBMISSION  
NOT FOR CONSTRUCTION  
12.18.2025

COPYRIGHT 2022 SFA  
REGISTRATION

NEW BETHANY  
333 WYANDOTTE STREET, BETHLEHEM,  
PA 18015

ANNEX REBUILD AND  
ADDITION  
335-339 WEST FOURTH STREET  
BETHLEHEM, PA 18015

COVER SHEET

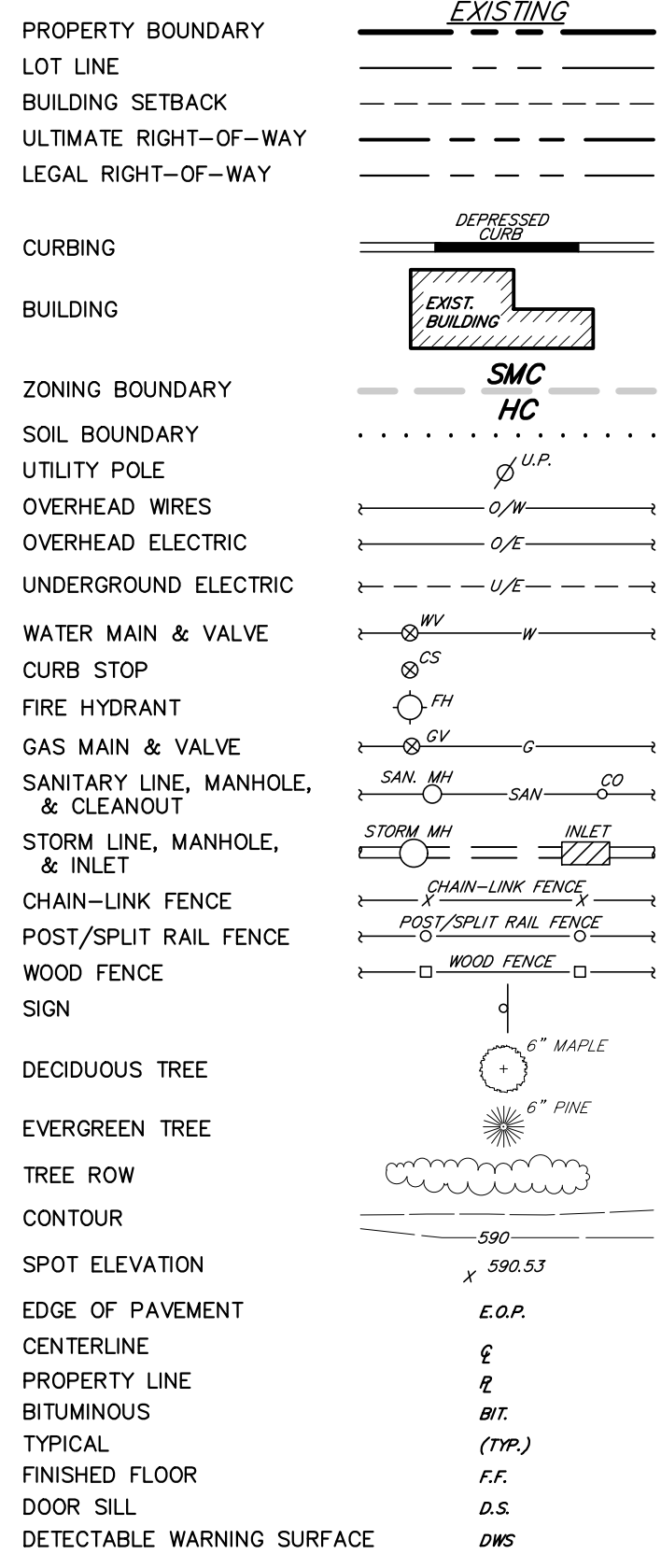
FULL SHEET SIZE: 30" x 42"  
PROJECT NUMBER 8274.25

SHEET NUMBER

# A0.00

© SPILLMAN FARMER ARCHITECTS, INC. 2022. ALL RIGHTS RESERVED.  
THIS DOCUMENT IS THE PROPERTY OF SPILLMAN FARMER ARCHITECTS, INC.  
IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN.  
NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SPILLMAN FARMER ARCHITECTS, INC.

LEGEND



ZONING DATA

DISTRICT: CB; CENTRAL BUSINESS NON-RESIDENTIAL USE MINIMUM LOT AREA: 0 S.F. FRONT: 0 FT. REAR: 0 FT. MINIMUM LOT WIDTH: 0 S.F. MAXIMUM BLDG. COVERAGE: 100% MAXIMUM IMP. COVERAGE: 100% MAXIMUM BLDG. HEIGHT: 150 FT.

ZONING NOTE: ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

SITE DATA

NUMBER OF LOTS: (4) EXISTING OWNER: NEW BETHANY, INC. 333 W 4TH ST BETHLEHEM, PA 18015 PROPERTY ADDRESS: 333 WYANDOTTE ST BETHLEHEM, PA 18015 PIN: P6SW2B 8 19 D.B.V. 2019-1, PG. 141395 AREA: 5,702 S.F. OR 0.131 ACRE

SOIL CLASSIFICATION

- UoB URBAN LAND, 0 TO 8 PERCENT SLOPES UoD URBAN LAND-DUFFLED COMPLEX, 0 TO 8 PERCENT SLOPES UoC URBAN LAND-DUFFLED COMPLEX, 8 TO 25 PERCENT SLOPES

NOTES:

- 1. THIS DRAWING HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE SURVEYOR HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO ANY FUTURE CONSTRUCTION. 2. DATE OF SURVEY: OCTOBER, 2025 3. ANY DISCREPANCIES IN RECONCILIATION OF RECORD INFORMATION WITH FIELD MEASUREMENTS SHOWN ON THIS SURVEY ARE DUE TO THE PROFESSIONAL EVALUATION OF SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO: DEED CALLS, LOCATION OF CORNER MONUMENTATION, LOCATIONS OF LONG STANDING POSSESSION LINES OR OTHER BOUNDARY LINE EVIDENCE, CARTWAY LOCATIONS (ROADS), INTENT OF ORIGINAL SURVEY, SENIORITY OF TITLE AND ERROR IN RECORD MEASUREMENTS AND/OR CLOSURES. 4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAYS, CONDITIONS AND RESTRICTIONS, ETC., THAT A TITLE REPORT MIGHT REVEAL. 5. ADJOINING PROPERTY OWNER INFORMATION SHOWN AS PER THE NORTHAMPTON COUNTY, PA PUBLIC TAX MAPS. 6. THE OWNER/DEVELOPER OF THE LOT SHALL BE RESPONSIBLE FOR ACQUIRING ANY APPLICABLE APPROVALS/PERMITS PRIOR TO PERFORMING ANY SITE DEVELOPMENT. 7. BY GEOGRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD AS PER FLOOD INSURANCE RATE MAP (F.I.R.M.) 42095C0307E, EFFECTIVE DATE OF 7/16/2014. 8. THERE ARE NO WETLANDS PRESENT ON SITE AS PER NATIONAL WETLANDS INVENTORY MAPPER. https://www.fws.gov/wetlands/Data/Mapper.html 9. SOILS SHOWN ON PLAN AS PER WEB SOIL SURVEY https://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx

PROFESSIONAL SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE SURVEY SHOWN ON THIS PLAN PERFORMED IN OCTOBER OF 2025 IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA" AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS.



CODY A. MCCUEAN, P.L.S. LICENSE NO. SU075794 BARRY ISETT & ASSOCIATES 10/31/2025

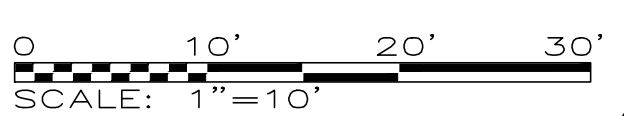
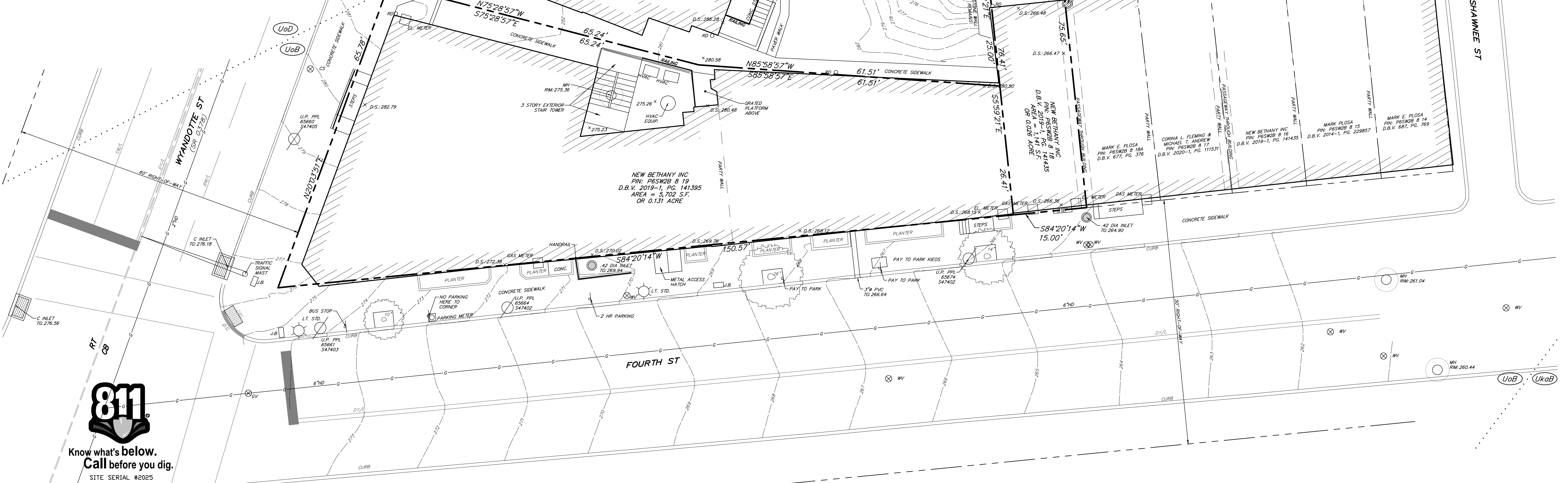
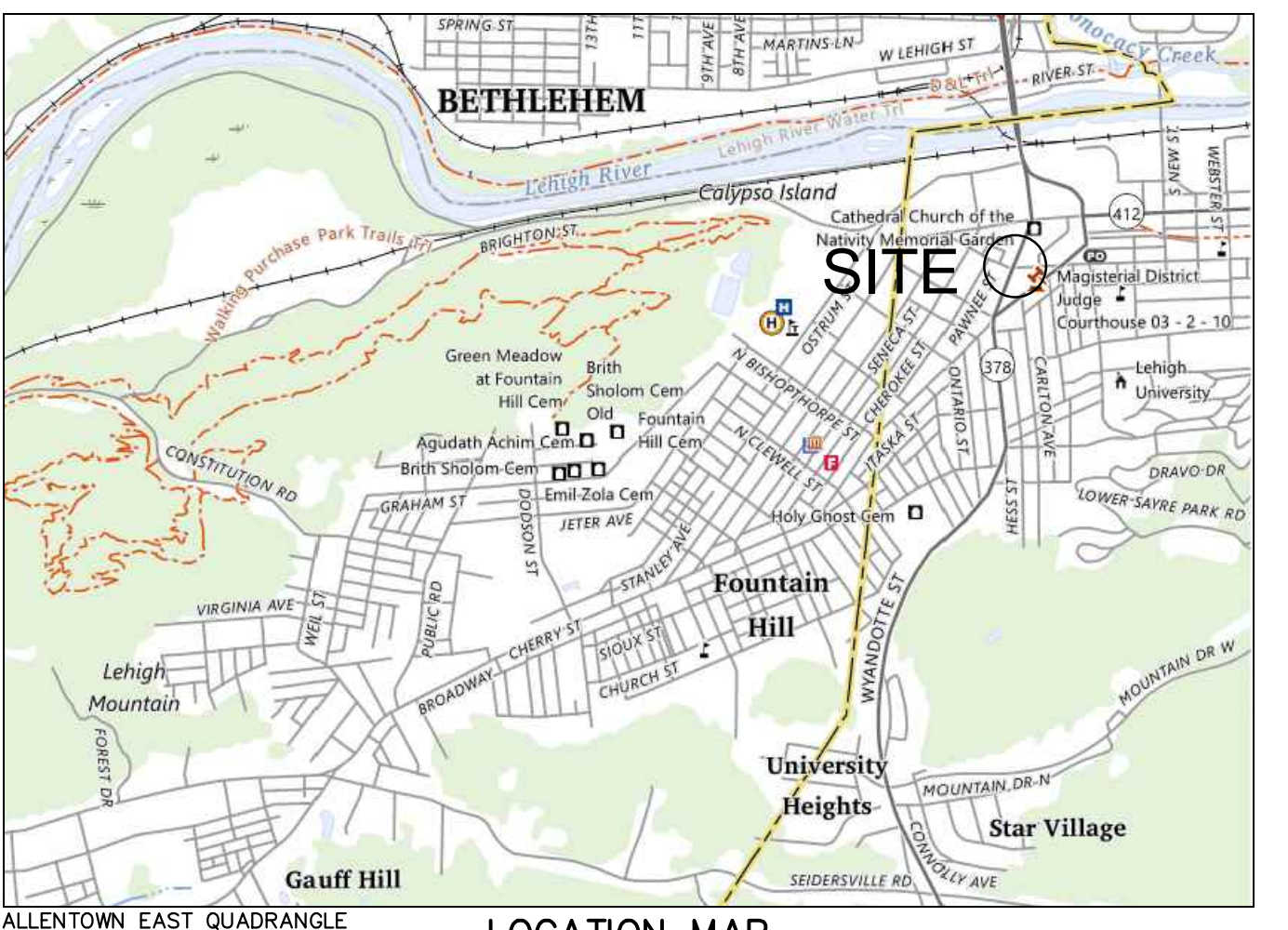


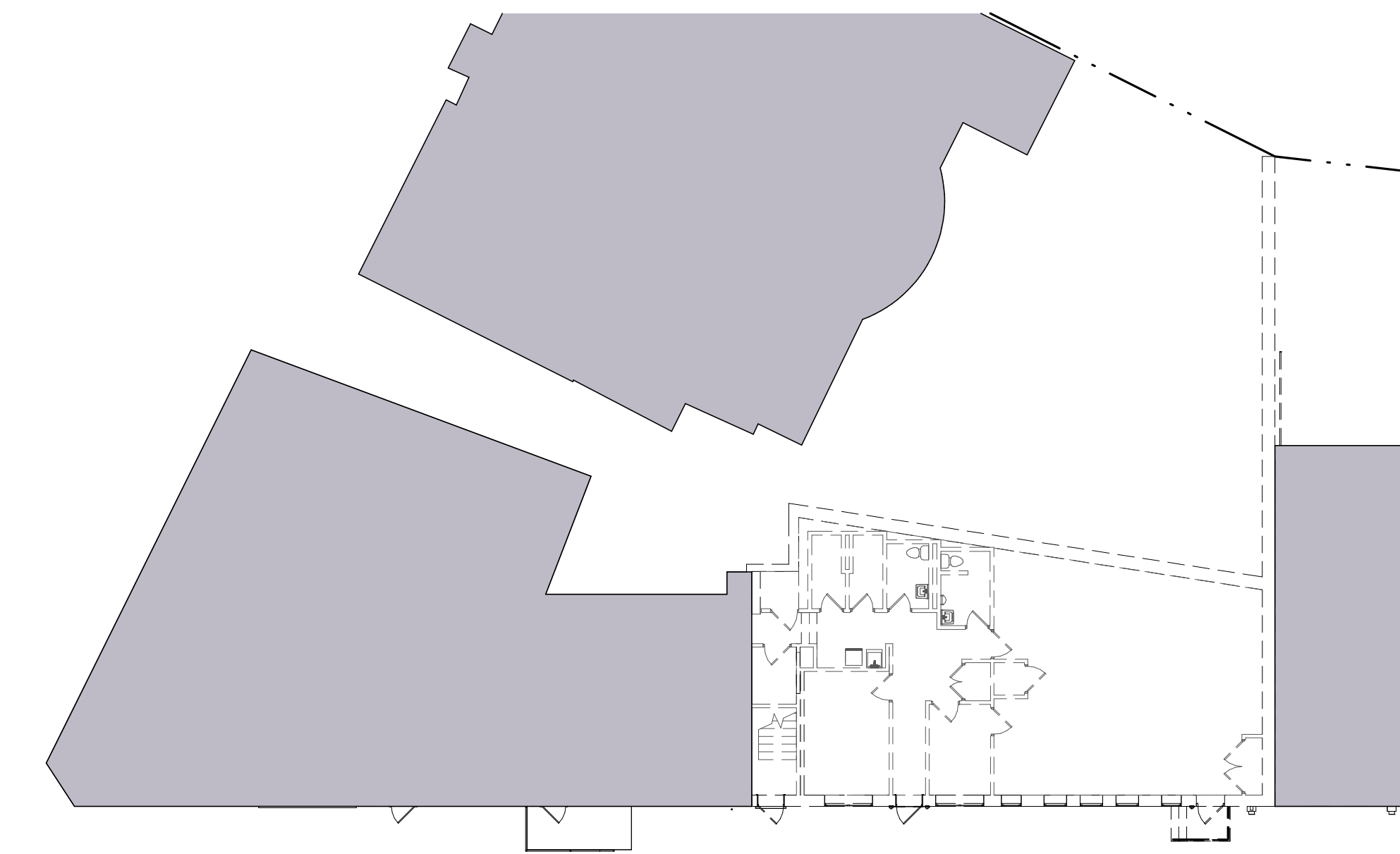
Table with columns: BY (CAM), DATE (11/19/25), REVISIONS (1 ADDED GAS MAIN)

Barry Isett & Associates logo and contact information: 272.200.2050, barryisett.com, 525 Main Street, Suite 200, Stroudsburg, PA 18380

TOPOGRAPHIC SURVEY PLAN RENOVATIONS - NEW BETHANY MINISTRIES SPILLMAN FARMER ARCHITECTS CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PA

Table with columns: DATE (10/29/2025), SCALE (1"=10'), DRAWN (JUM), JOB (1079825.000), DSGN (CAM), CHK (CAM), APPRD (CDC), P MGR (CDC)

COPYRIGHT 2025 SHEET: SU-1



**2 ANNEX FIRST FLOOR - DEMOLITION PLAN KEY MAP**  
SCALE: 1/16" = 1'-0"

DEMO NOTES	
NOTE NUMBER	NOTE REMARK
1	DEMOLISH EXISTING ANNEX BUILDING. SEE ENGINEERING DOCUMENTS FOR ADDITIONAL NOTES.
2	DEMOLISH REMNANTS OF EXISTING RETAINING WALL. SEE ENGINEERING DOCUMENTS FOR ADDITIONAL NOTES.
3	EXISTING BUILDING TO REMAIN. SEE ENGINEERING DOCUMENTS FOR ADDITIONAL NOTES.

\*MORE DETAILED DEMOLITION NOTES WILL BE PROVIDED IN LATER STAGES OF THE PROJECT\*

**DRAWING HISTORY**

NO.	ISSUE DATE	DESCRIPTION

CURRENT ISSUE  
HCC SUBMISSION  
**NOT FOR CONSTRUCTION**  
12.18.2025

COPYRIGHT 2022 SFA  
REGISTRATION

**NEW BETHANY**  
333 WYANDOTTE STREET, BETHLEHEM,  
PA 18015

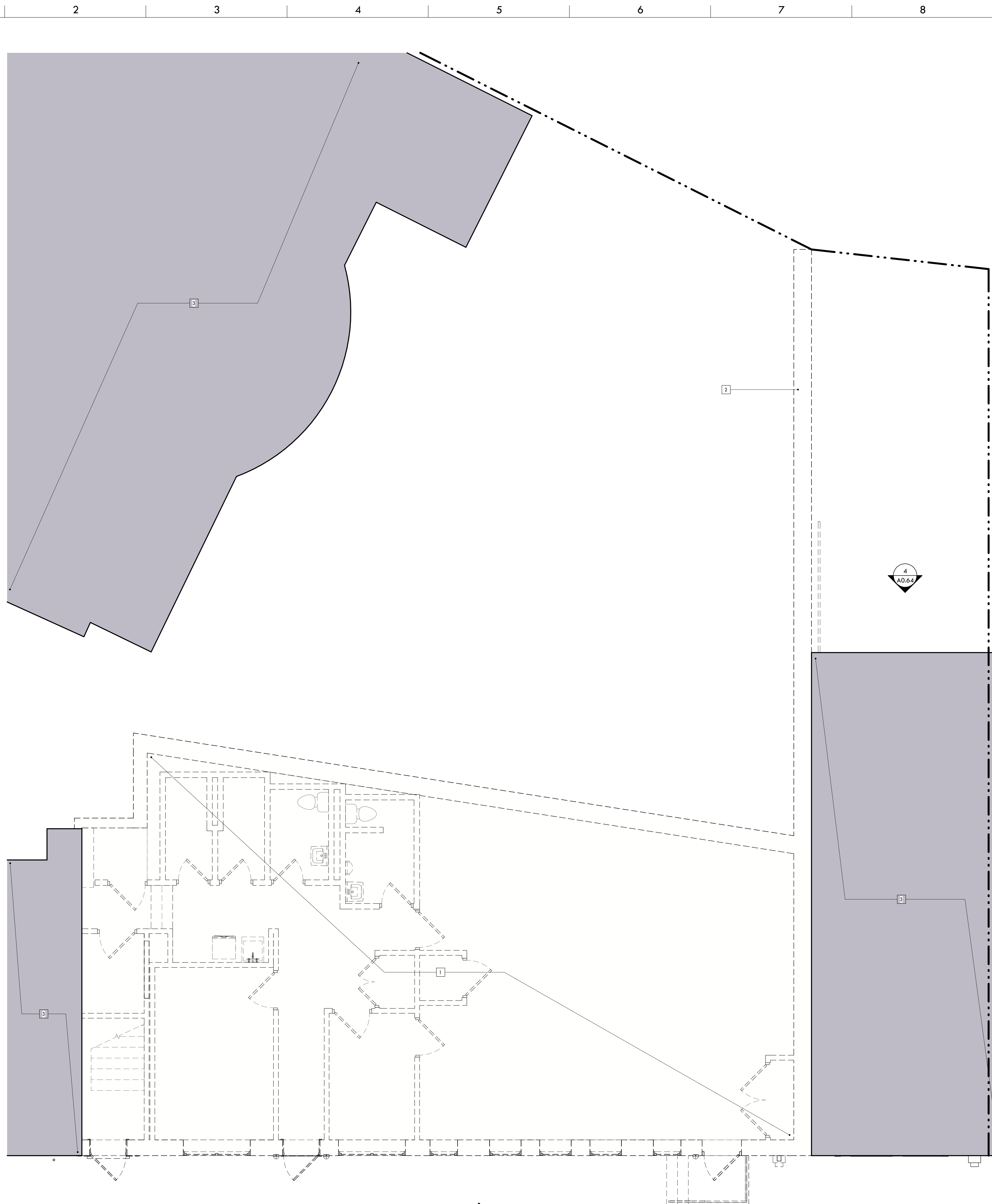
**ANNEX REBUILD AND  
ADDITION**  
335-339 WEST FOURTH STREET  
BETHLEHEM, PA 18015

**ANNEX FIRST FLOOR -  
DEMOLITION PLAN**

FULL SHEET SIZE: 30" x 42"  
PROJECT NUMBER: 8274.25

SHEET NUMBER

# A0.61



**1 ANNEX FIRST FLOOR - DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12

A  
SCALE: 3" = 1'-0"

B  
SCALE: 1 1/2" = 1'-0"

C  
SCALE: 1" = 1'-0"

D  
SCALE: 3/4" = 1'-0"

E  
SCALE: 1/2" = 1'-0"

F  
SCALE: 3/8" = 1'-0"

G  
SCALE: 1/4" = 1'-0"

H  
SCALE: 1/8" = 1'-0"

I  
SCALE: 3/32" = 1'-0"

J  
SCALE: 1/16" = 1'-0"

8. Project: SFA 335 West Fourth Street, Bethlehem, PA  
9. Architect: Spillman Farmer Architects  
10. Drawing Project: Project Central  
11. Drawing Title: ANNEX REBUILD AND ADDITION  
12. Drawing Number: A0.61  
13. Drawing Date: 12/18/2025  
14. Drawing Scale: 1/4" = 1'-0"





**2 ANNEX THIRD FLOOR - DEMOLITION PLAN KEY MAP**  
SCALE: 1/16" = 1'-0"

DEMO NOTES	
NOTE NUMBER	NOTE REMARK
1	DEMOLISH EXISTING ANNEX BUILDING. SEE ENGINEERING DOCUMENTS FOR ADDITIONAL NOTES.
2	DEMOLISH REMNANTS OF EXISTING RETAINING WALL. SEE ENGINEERING DOCUMENTS FOR ADDITIONAL NOTES.
3	EXISTING BUILDING TO REMAIN. SEE ENGINEERING DOCUMENTS FOR ADDITIONAL NOTES.

\*MORE DETAILED DEMOLITION NOTES WILL BE PROVIDED IN LATER STAGES OF THE PROJECT\*

**DRAWING HISTORY**

NO.	ISSUE DATE	DESCRIPTION

CURRENT ISSUE  
HCC SUBMISSION  
**NOT FOR CONSTRUCTION**  
12.18.2025

COPYRIGHT 2022 SFA  
REGISTRATION

**NEW BETHANY**

333 WYANDOTTE STREET, BETHLEHEM,  
PA 18015

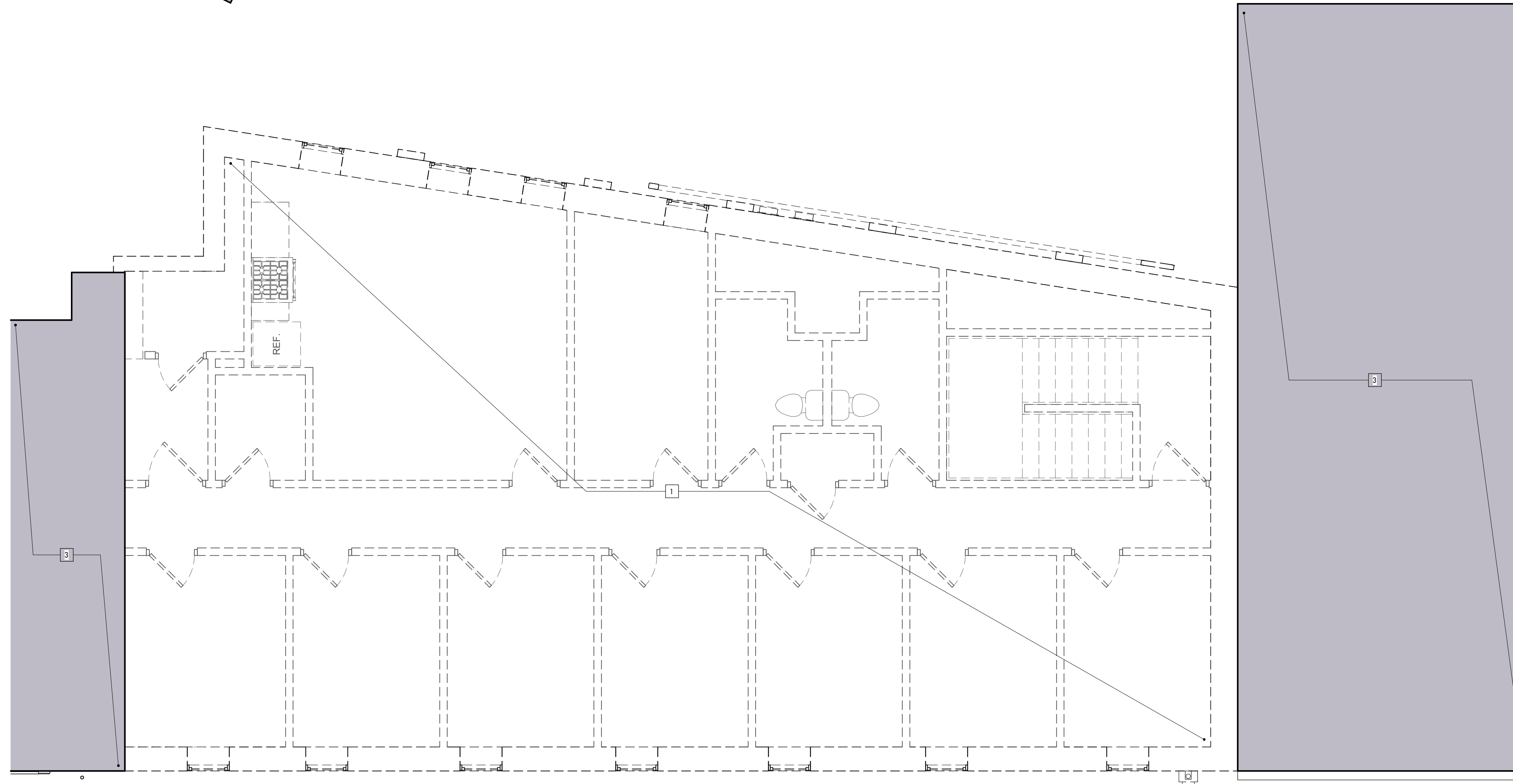
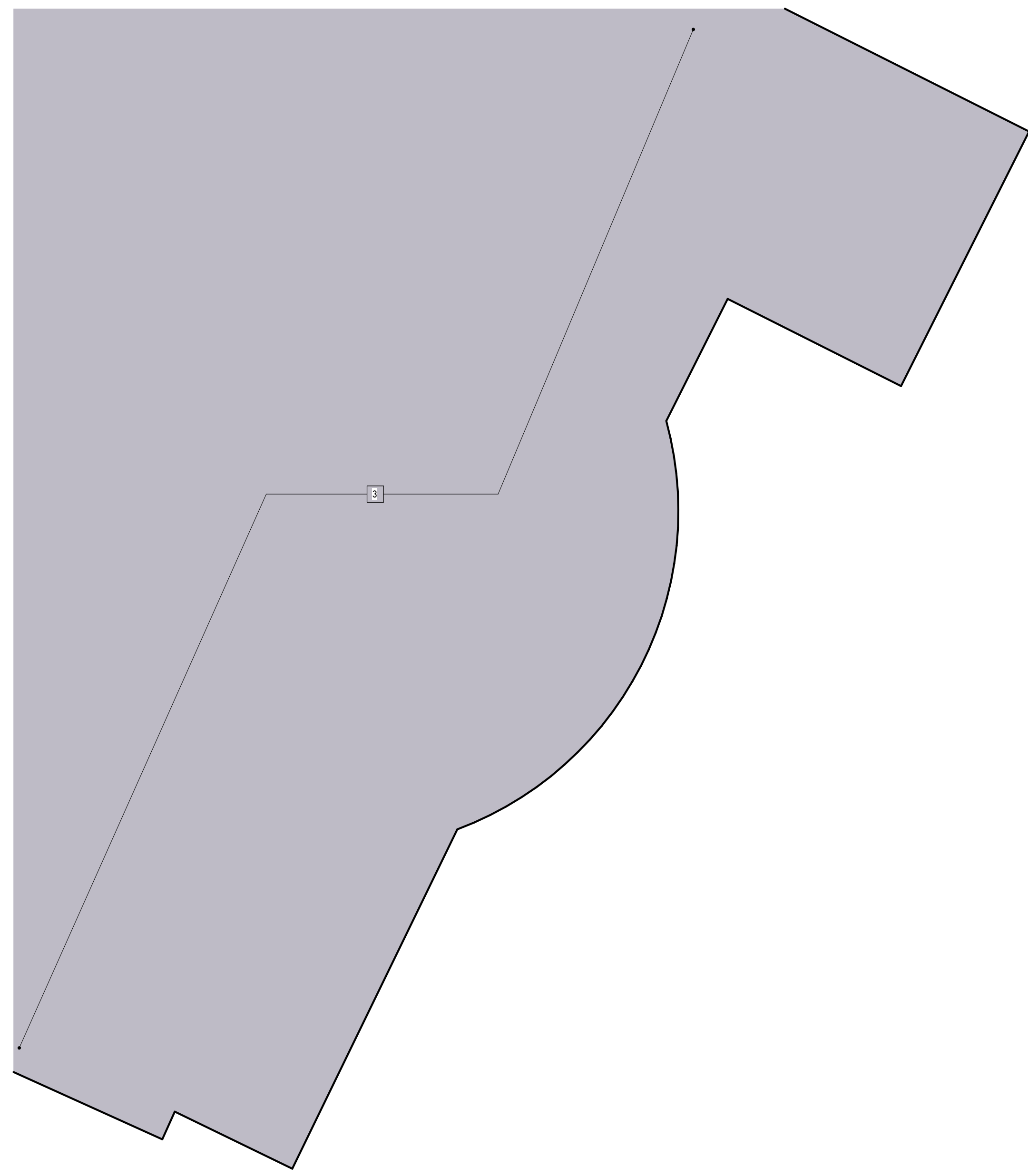
**ANNEX REBUILD AND  
ADDITION**  
335-339 WEST FOURTH STREET  
BETHLEHEM, PA 18015

**ANNEX THIRD FLOOR -  
DEMOLITION PLAN**

FULL SHEET SIZE: 30" x 42"  
PROJECT NUMBER: 8274.25

SHEET NUMBER

**A0.63**



**1 ANNEX THIRD FLOOR - DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12

A  
SCALE: 3" = 1'-0"

B  
SCALE: 1 1/2" = 1'-0"

C  
SCALE: 1" = 1'-0"

D  
SCALE: 3/4" = 1'-0"

E  
SCALE: 1/2" = 1'-0"

F  
SCALE: 3/8" = 1'-0"

G  
SCALE: 1/4" = 1'-0"

H  
SCALE: 1/8" = 1'-0"

I  
SCALE: 3/32" = 1'-0"

J  
SCALE: 1/16" = 1'-0"

© 2022 SFA. All rights reserved. This drawing is the property of Spillman Farmer Architects, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Spillman Farmer Architects, Inc.

**DRAWING HISTORY**

NO.	ISSUE DATE	DESCRIPTION

CURRENT ISSUE  
HCC SUBMISSION  
**NOT FOR CONSTRUCTION**  
12.18.2025

COPYRIGHT 2022 SFA  
REGISTRATION

**NEW BETHANY**  
333 WYANDOTTE STREET, BETHLEHEM,  
PA 18015

**ANNEX REBUILD AND  
ADDITION**  
335-339 WEST FOURTH STREET  
BETHLEHEM, PA 18015

**EXISTING EXTERIOR  
ELEVATIONS**

FULL SHEET SIZE: 30" x 42"  
PROJECT NUMBER: 8274.25

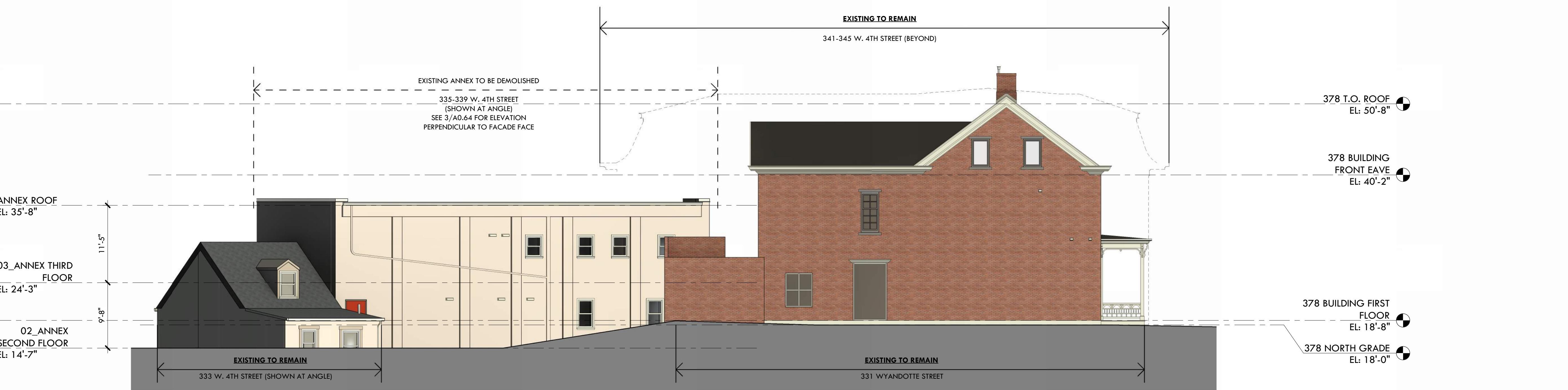
SHEET NUMBER

# A0.64



**1 SOUTH ELEVATION - EXISTING**

SCALE: 1/8" = 1'-0"



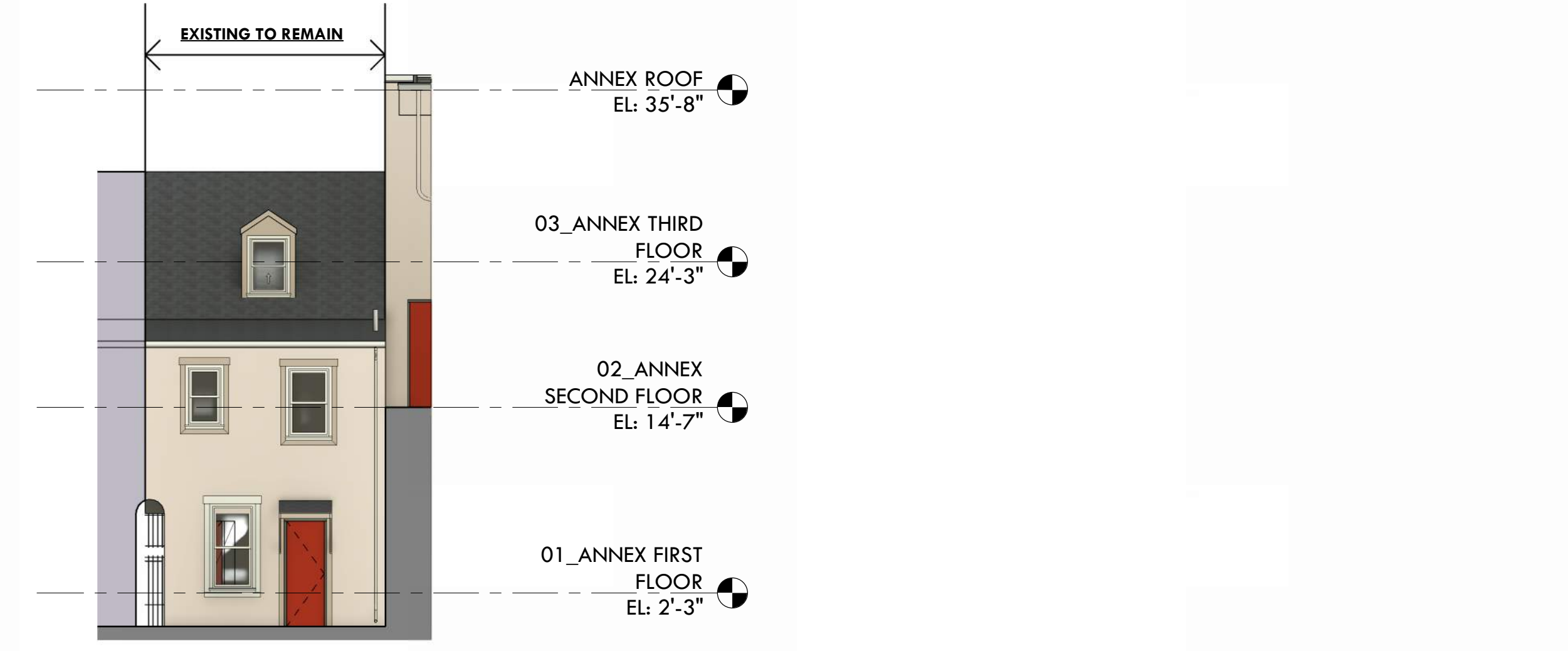
**2 NORTH ELEVATION - EXISTING**

SCALE: 1/8" = 1'-0"



**3 NORTH ELEVATION - EXISTING (NOT AT ANGLE)**

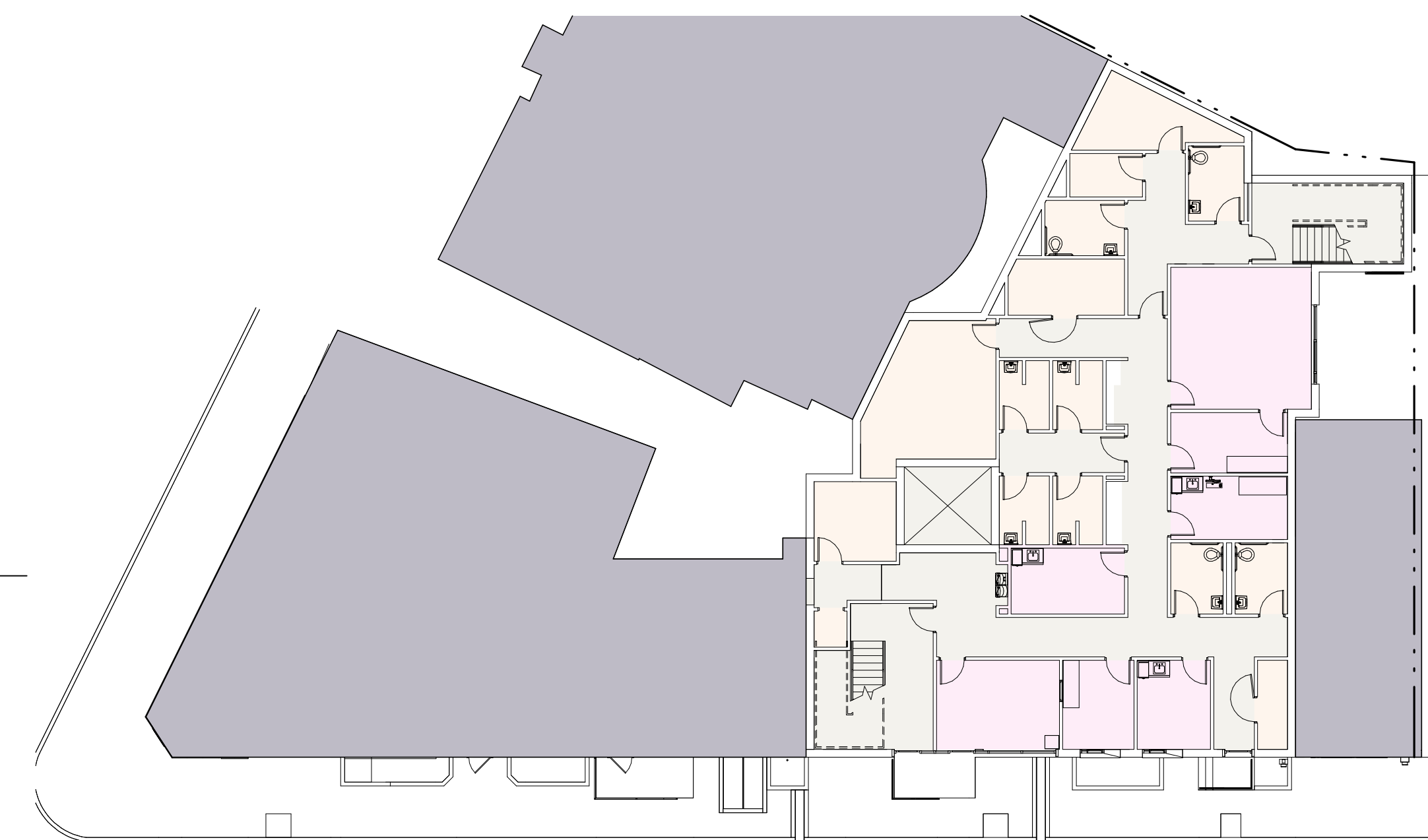
SCALE: 1/8" = 1'-0"



**4 NORTH ELEVATION - EXISTING ROW HOME (333 W. 4TH) - FOR REF. ONLY**

SCALE: 1/8" = 1'-0"

© 2022 SFA. All rights reserved. This drawing is the property of Spillman Farmer Architects and is not to be reproduced without written permission. All other drawings, specifications, and notes shall govern in the event of any conflict.



**3 ANNEX FIRST FLOOR - PROPOSED PLAN KEY MAP**  
SCALE: 1/16" = 1'-0"



**1 ANNEX FIRST FLOOR - PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"

OVERALL PROGRAM	
Elevator	1
Janitor Closet	
Ground Floor	1
First Floor	0
Second Floor	1
GROUND FLOOR	
Administrative + Operations	
Waiting Area	1
Reception	1
Case Management Office	See below
Walk-in Refrigerator/ Freezer	1
Storage Space for Emergency Supplies	1
Additional Storage Space	1
Showers	4 (ADA)
Toilet Rooms	4 (ADA)
Laundry	2 (ADA)
Electrical Closet	1
Mechanical Room	1
Program Spaces	
Flexible Meeting Room	1
Medical Clinic	
Case Management Office	1
Exam Rooms	2
Substance Abuse	1
SECOND FLOOR	
Efficiency Apartments	6
Consists of:	
Living Area >220 SF	
Kitchenette and Closets	
Bathrooms	
Laundry	1 (NON-ADA)
Electrical Closet	1
Janitor Closet	0
THIRD FLOOR	
Efficiency Apartments	6
Consists of:	
Living Area >220 SF	
Kitchenette and Closets	
Bathrooms	
Laundry	1 (ADA)
Electrical Closet	1
Janitor Closet	1
TOTALS AND PARKING	
Apartments	12
	1.75
<b>TOTAL</b>	<b>21</b>

**DRAWING HISTORY**

NO.	ISSUE DATE	DESCRIPTION

CURRENT ISSUE  
HCC SUBMISSION  
**NOT FOR CONSTRUCTION**  
12.18.2025

COPYRIGHT 2022 SFA  
REGISTRATION

**NEW BETHANY**

333 WYANDOTTE STREET, BETHLEHEM,  
PA 18015

**ANNEX REBUILD AND**

**ADDITION**  
335-339 WEST FOURTH STREET  
BETHLEHEM, PA 18015

**ANNEX FIRST FLOOR -**

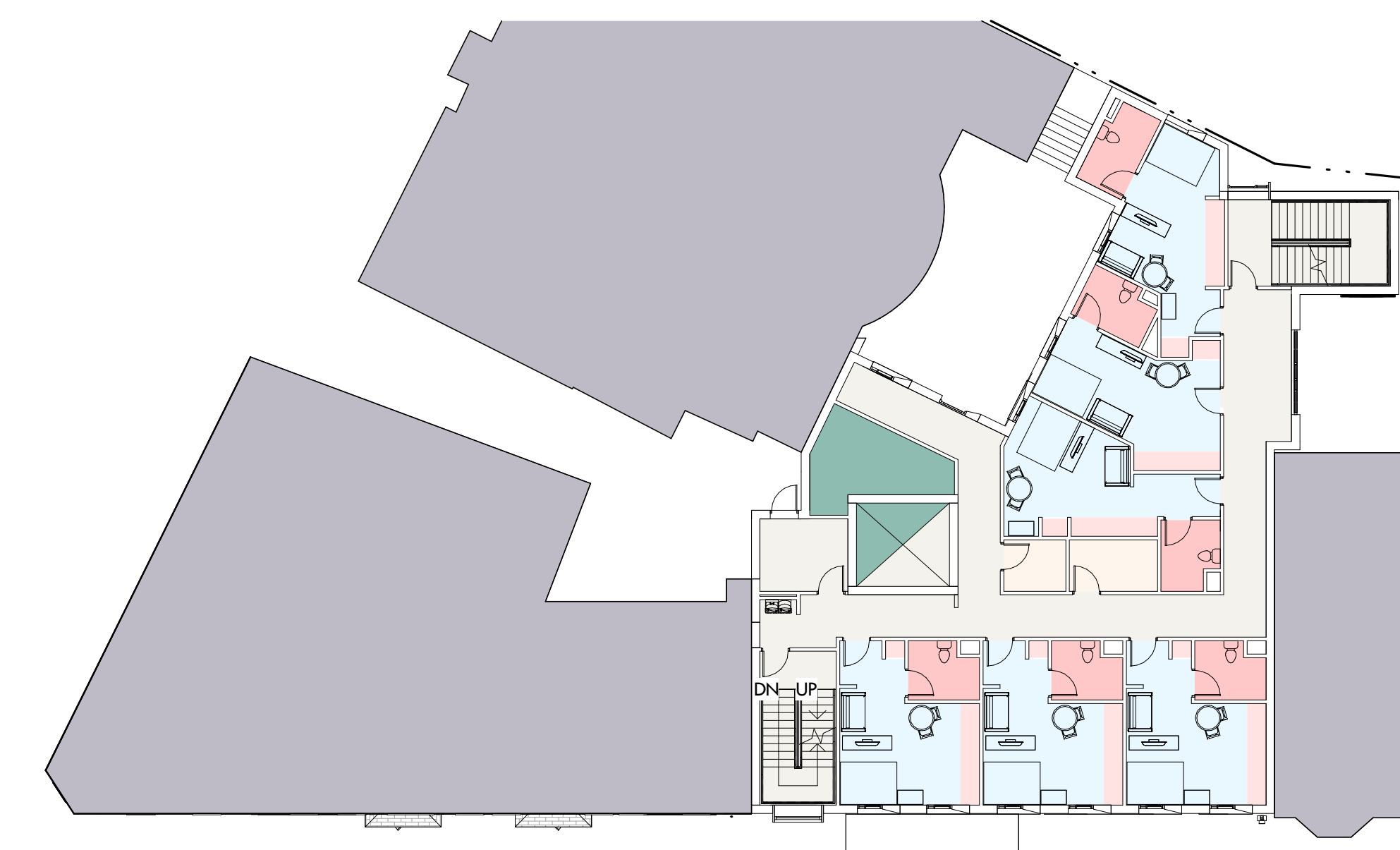
**PROPOSED PLAN**

FULL SHEET SIZE: 30" x 42"  
PROJECT NUMBER: 827.4.25

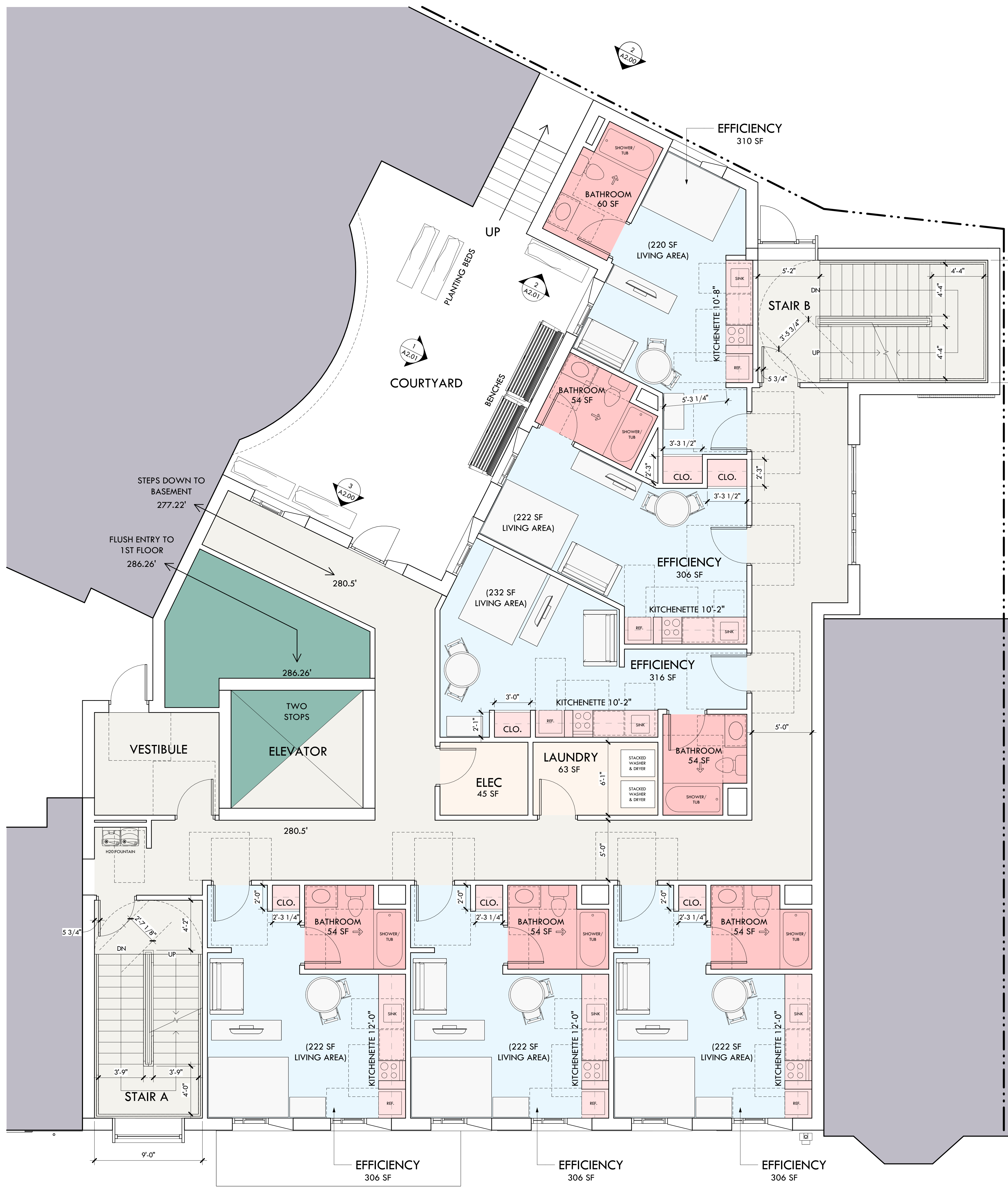
SHEET NUMBER

**A1.01**

© 2022 SFA. All rights reserved. This drawing is the property of Spillman Farmer Architects, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Spillman Farmer Architects, Inc.



**2 ANNEX SECOND FLOOR - PROPOSED PLAN KEY MAP**  
SCALE: 1/16" = 1'-0"



**1 ANNEX SECOND FLOOR - PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"

OVERALL	
Elevator	1
Janitor Closet	0
Ground Floor	1
First Floor	0
Second Floor	1
GROUND FLOOR	
Administrative + Operations	
Waiting Area	1
Reception	1
Case Management Office	See below
Walk-in Refrigerator/ Freezer	1
Storage Space for Emergency Supplies	1
Additional Storage Space	1
Showers	4 (ADA)
Toilet Rooms	4 (ADA)
Laundry	2 (ADA)
Electrical Closet	1
Mechanical Room	1
Program Spaces	
Flexible Meeting Room	1
Medical Clinic	1
Case Management Office	1
Exam Rooms	2
Substance Abuse	1
SECOND FLOOR	
Efficiency Apartments	6
Consists of:	
Living Area >220 SF	
Kitchenette and Closets	
Bathrooms	
Laundry	1 (NON-ADA)
Electrical Closet	1
Janitor Closet	0
THIRD FLOOR	
Efficiency Apartments	6
Consists of:	
Living Area >220 SF	
Kitchenette and Closets	
Bathrooms	
Laundry	1 (ADA)
Electrical Closet	1
Janitor Closet	1
TOTALS AND PARKING	
Apartments	12
	1.75
<b>TOTAL</b>	<b>21</b>

FURNITURE KEY	
	Full Size Bed
	Couch
	Credenza
	Dresser
	Dining Table

**DRAWING HISTORY**

NO.	ISSUE DATE	DESCRIPTION

CURRENT ISSUE  
HCC SUBMISSION  
**NOT FOR CONSTRUCTION**  
12.18.2025

COPYRIGHT 2022 SFA  
REGISTRATION

**NEW BETHANY**  
333 WYANDOTTE STREET, BETHLEHEM,  
PA 18015

**ANNEX REBUILD AND  
ADDITION**  
335-339 WEST FOURTH STREET  
BETHLEHEM, PA 18015

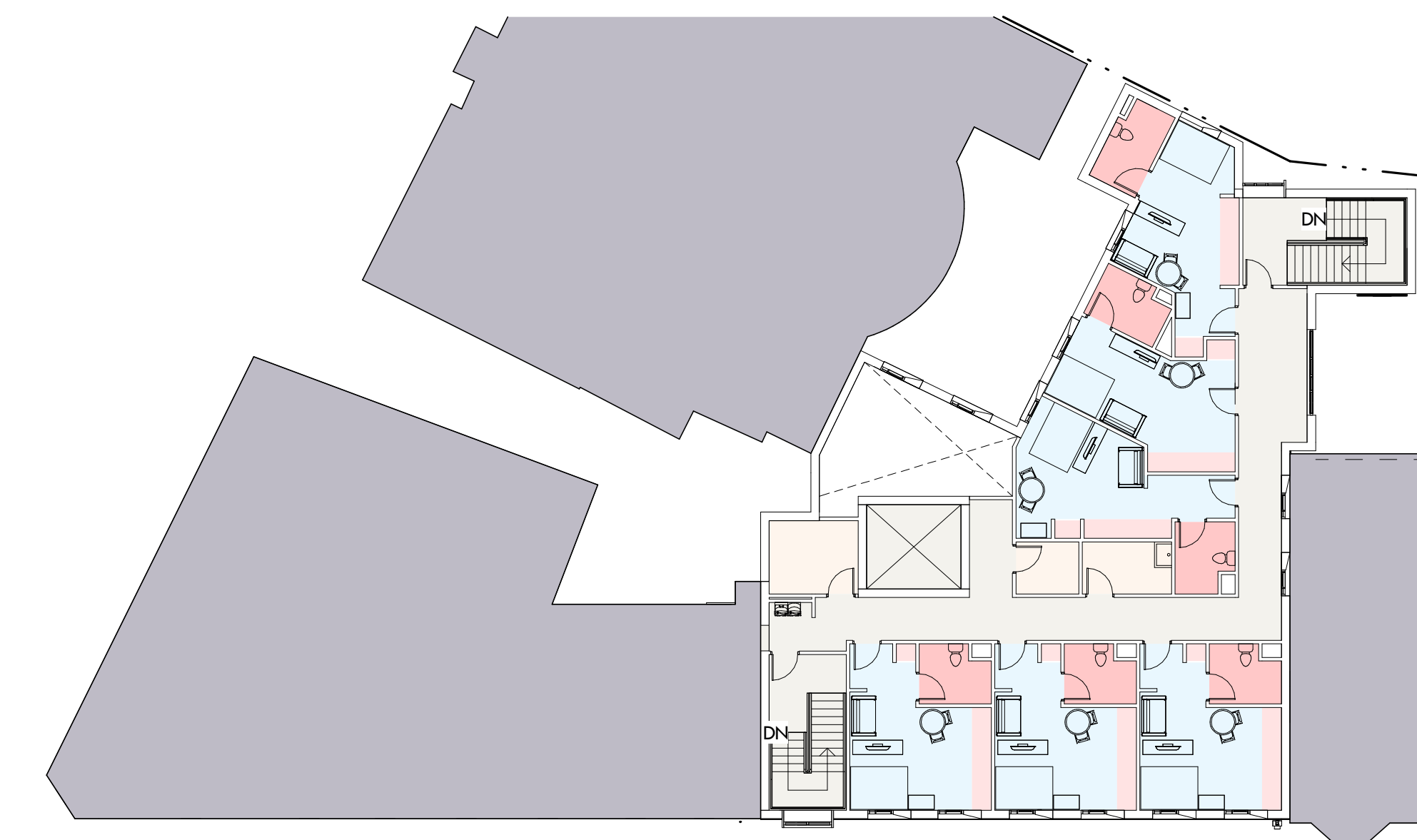
**ANNEX SECOND FLOOR -  
PROPOSED PLAN**

FULL SHEET SIZE: 30" x 42"  
PROJECT NUMBER: 827.4.25

SHEET NUMBER

# A1.02

S:\Projects\2025\New Bethany\Annex\A1.02 - Annex Second Floor - Proposed Plan.dwg  
 Author: Barry Isett  
 Date: 12/18/2025  
 Project: New Bethany  
 Drawing: Annex Second Floor - Proposed Plan

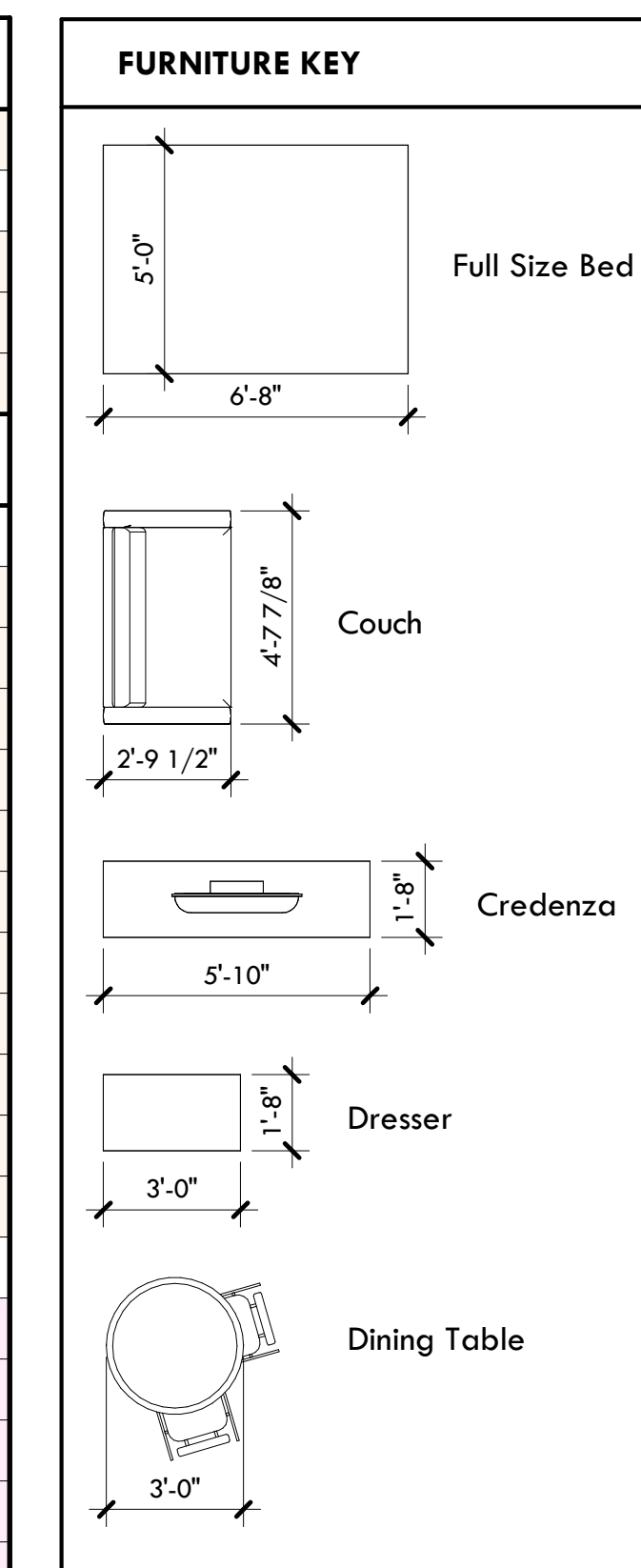


**2 ANNEX THIRD FLOOR - PROPOSED PLAN KEY MAP**  
SCALE: 1/16" = 1'-0"



**1 ANNEX THIRD FLOOR - PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"

OVERALL	
Elevator	1
Janitor Closet	0
Ground Floor	1
First Floor	0
Second Floor	1
GROUND FLOOR	
Administrative + Operations	
Waiting Area	1
Reception	1
Case Management Office	See below
Walk-in Refrigerator/ Freezer	1
Storage Space for Emergency Supplies	1
Additional Storage Space	1
Showers	4 (ADA)
Toilet Rooms	4 (ADA)
Laundry	2 (ADA)
Electrical Closet	1
Mechanical Room	1
Program Spaces	
Flexible Meeting Room	1
Medical Clinic	1
Case Management Office	1
Exam Rooms	2
Substance Abuse	1
SECOND FLOOR	
Efficiency Apartments	6
Consists of:	
Living Area >220 SF	
Kitchenette and Closets	
Bathrooms	
Laundry	1 (NON-ADA)
Electrical Closet	1
Janitor Closet	0
THIRD FLOOR	
Efficiency Apartments	6
Consists of:	
Living Area >220 SF	
Kitchenette and Closets	
Bathrooms	
Laundry	1 (ADA)
Electrical Closet	1
Janitor Closet	1
TOTALS AND PARKING	
Apartments	12
	1.75
<b>TOTAL</b>	<b>21</b>



**DRAWING HISTORY**

NO.	ISSUE DATE	DESCRIPTION

CURRENT ISSUE  
HCC SUBMISSION  
**NOT FOR CONSTRUCTION**  
12.18.2025

COPYRIGHT 2022 SFA  
REGISTRATION

**NEW BETHANY**

333 WYANDOTTE STREET, BETHLEHEM,  
PA 18015

**ANNEX REBUILD AND  
ADDITION**  
335-339 WEST FOURTH STREET  
BETHLEHEM, PA 18015

**ANNEX THIRD FLOOR -  
PROPOSED PLAN**

FULL SHEET SIZE: 30" x 42"  
PROJECT NUMBER: 827.4.25

SHEET NUMBER

# A1.03

© 2022 SFA. All rights reserved. Spillman Farmer Architects, Inc. is a registered professional architectural firm in the State of Pennsylvania. All drawings are the property of Spillman Farmer Architects, Inc. and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Spillman Farmer Architects, Inc.



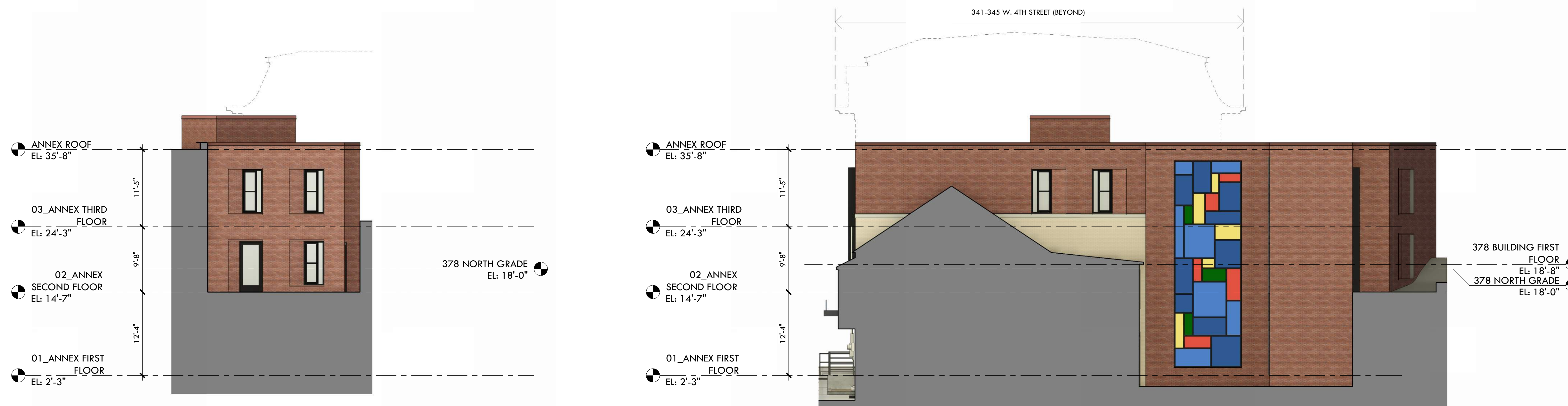
**1 SOUTH ELEVATION - PROPOSED NEW**

SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION - PROPOSED NEW**

SCALE: 1/8" = 1'-0"



**3 NORTH ELEVATION - PROPOSED NEW AT INNER COURT**

SCALE: 1/8" = 1'-0"

**4 EAST ELEVATION - PROPOSED NEW (PARTY WALL BEYOND)**

SCALE: 1/8" = 1'-0"

DRAWING HISTORY

NO.	ISSUE DATE	DESCRIPTION

CURRENT ISSUE  
HCC SUBMISSION  
NOT FOR CONSTRUCTION  
12.18.2025

COPYRIGHT 2021 SFA  
REGISTRATION

NEW BETHANY

333 WYANDOTTE STREET, BETHLEHEM,  
PA 18015

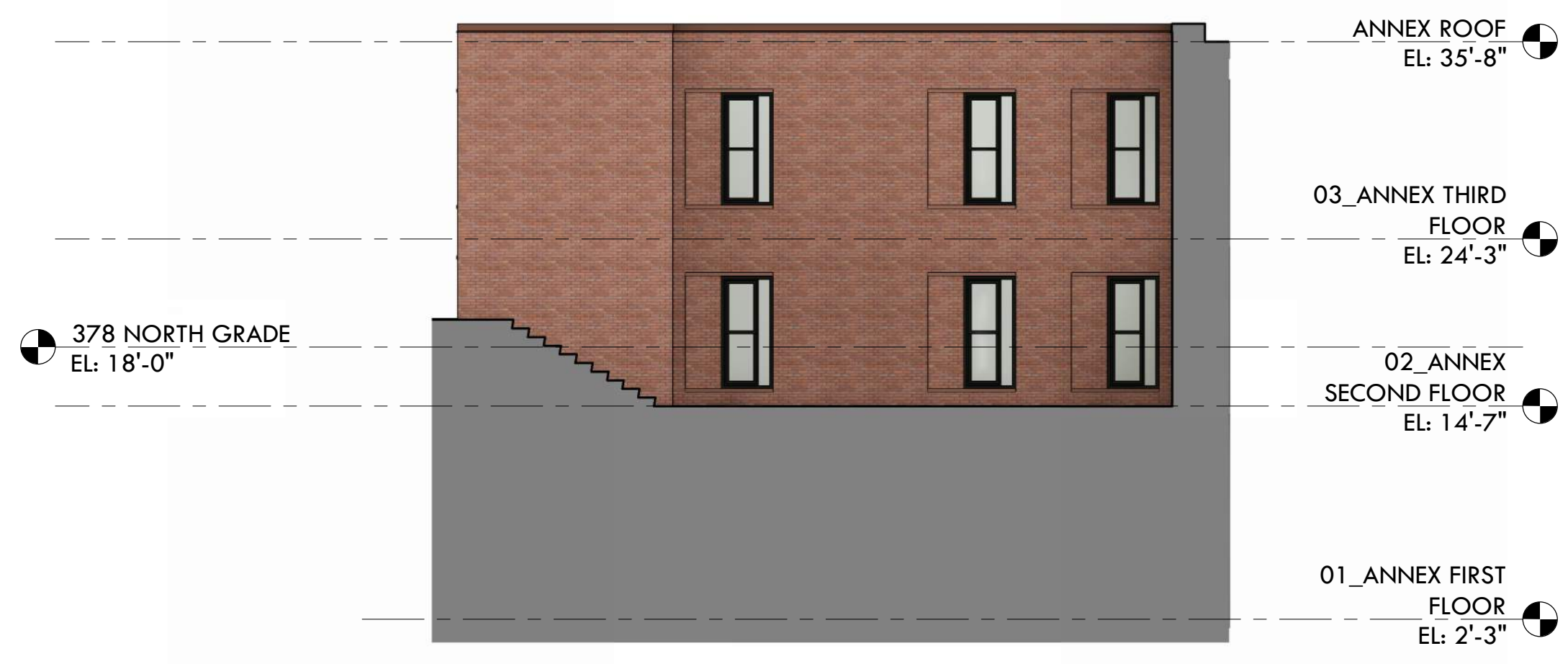
ANNEX REBUILD AND  
ADDITION  
335-339 WEST FOURTH STREET  
BETHLEHEM, PA 18015

PROPOSED EXTERIOR  
ELEVATIONS

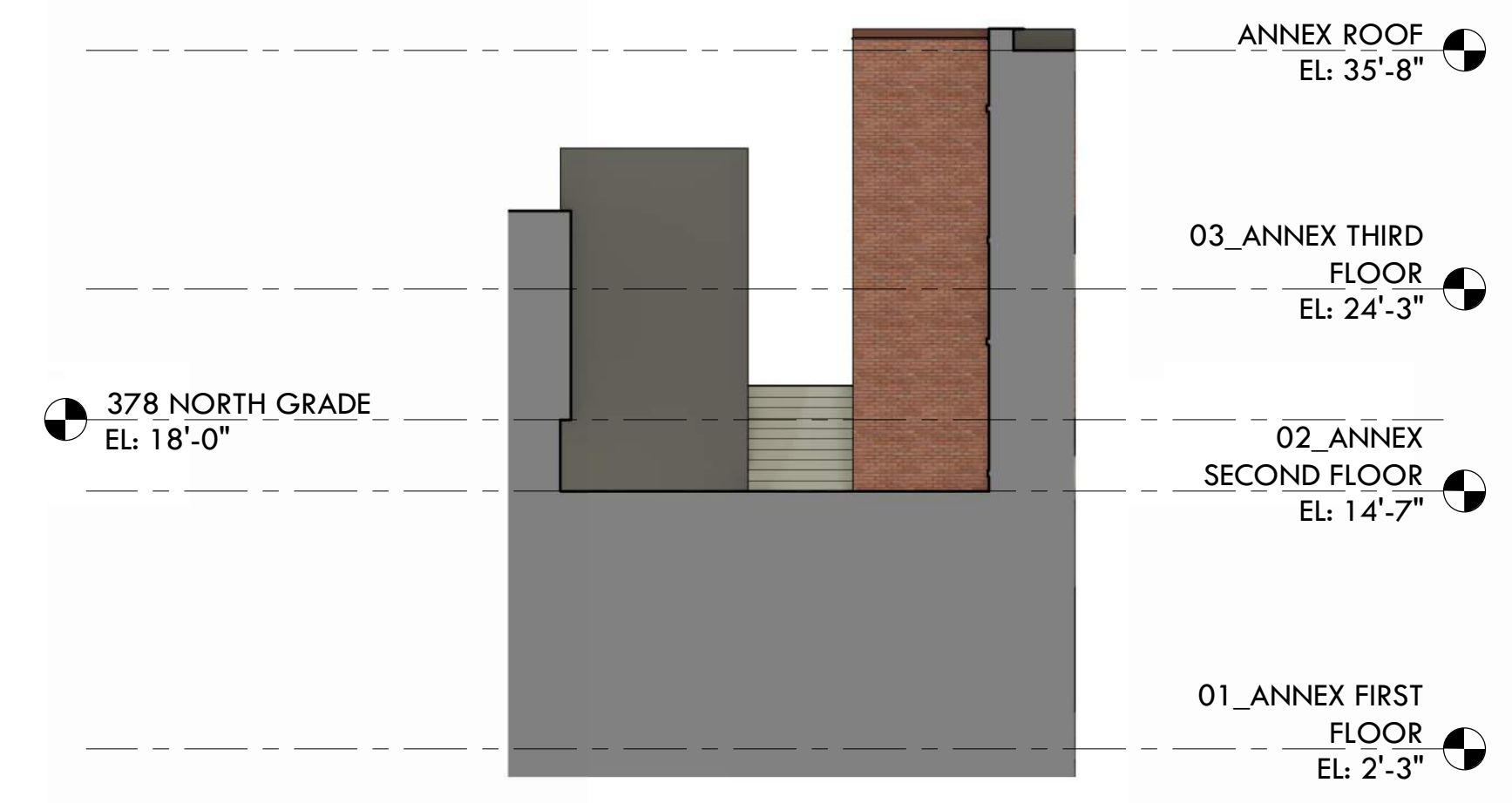
FULL SHEET SIZE: 30" x 42"  
PROJECT NUMBER 8274.25

SHEET NUMBER

# A2.01



1 WEST ELEVATION - PROPOSED NEW AT INNER COURT  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION - PROPOSED NEW AT INNER COURT  
SCALE: 1/8" = 1'-0"

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12

A  
B  
C  
D  
E  
F  
G  
H  
I  
J

SCALE: 3/8" = 1'-0"  
SCALE: 1/2" = 1'-0"  
SCALE: 1" = 1'-0"  
SCALE: 3/4" = 1'-0"  
SCALE: 1/2" = 1'-0"  
SCALE: 3/8" = 1'-0"  
SCALE: 1/4" = 1'-0"  
SCALE: 1/8" = 1'-0"  
SCALE: 3/32" = 1'-0"  
SCALE: 1/16" = 1'-0"

© 2025 SFA. All rights reserved. No part of this drawing may be reproduced without the written permission of Spillman Farmer Architects, Inc. All other drawings, specifications, and notes shall govern in the event of a conflict with this drawing. SFA is not responsible for any errors or omissions in this drawing. SFA is not responsible for any construction or other actions taken based on this drawing. SFA is not responsible for any construction or other actions taken based on this drawing. SFA is not responsible for any construction or other actions taken based on this drawing.