

**NEW BETHANY
PROPOSED ANNEX WORK
335-339 W. 4TH STREET**

**BETHLEHEM HISTORIC
CONSERVATION
COMMISSION SUBMISSION**

00_335-339 W. 4TH STREET

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01

NARRATIVE OF PROPOSED WORK

01_335-339 W. 4TH STREET NARRATIVE OF PROPOSED WORK

New Bethany is proposing the demolition of their existing 3-storey annex building located at 335-339 West Fourth Street [Images 1, 2, 3, 4, and 5; demolition plans can be found in the separate attachment] and replacing it with a new, expanded 3-storey annex building. The current annex building (5,550 SF) contains program spaces that assist those in the community in need. New Bethany wishes to demolish this existing structure and replace it with a new, expanded 3-storey structure because the layouts and sizes of the current rooms no longer meet the requirements of those in need. In addition to this deficiency, the corridors and egress stairs do not meet today's accessibility standards.

Aside from the inability of the current facility to meet accessibility needs and standards, the housing is ill-suited to serve families because the current rooms are only dormitory-style. Beyond this housing deficiency, the common spaces on the Ground Floor can no longer meet the variety of programmatic needs that New Bethany offers to the community.



Image 1: 335-339 West Fourth Street, Bethlehem, PA; Image Source: Google Maps, accessed on October 22, 2025
Blue Outline: Existing annex building footprint; Red Circle: Existing Site; Orange Triangle: View in images 2 and 3, next page; Purple Triangle: View in images 4 and 5, page after next



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Image 2: 335-339 West Fourth Street, South Elevation; Image from Google Street View, July 2019.



Image 3: 335-339 West Fourth Street and adjacent buildings, Bethlehem, PA; Drawn by Spillman Farmer Architects

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Image 4: 335-339 West Fourth Street, North Elevation; Image taken by Spillman Farmer Architects on December 5, 2025.



Image 5: 335-339 West Fourth Street and adjacent buildings, Bethlehem, PA; Drawn by Spillman Farmer Architects

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The proposed new annex building would occupy the same site along West Fourth Street [Images 6, 7, 8, 9, and 10; larger copies of the elevations can be found in the separate attachment] while at the same time, expanding to the north on the current site. The total square footage of the new structure would be approximately 12,425 SF and, like the existing structure, offer program spaces to assist those in the community in need, while offering a greater variety of programs. Demolition of the existing annex is proposed to occur immediately prior to construction. In other words, the site will not sit vacant after the existing annex building is demolished.

Not only is the demolition of the existing annex structure proposed because it no longer meets the programmatic needs of New Bethany, demolition of the existing annex structure is also being proposed because: (1) unique site features make it a necessity and (2), the existing annex structure, in its current state, has lost its historic integrity. In other words (regarding the latter item), the demolition and rebuilding of the annex structure is being proposed because it gives New Bethany the opportunity to build something on site that can reside harmoniously with the historically significant 341-345 West Fourth Street building to which it is attached, and to the other structures in the historic district. Currently, the annex does not operate harmoniously within its site or within the larger historical fabric of the district because of the substantial modifications that were made to the building between 1952 and 1987 (more details on this in the narrative that follows).



Image 6: 335-339 West Fourth Street, Bethlehem, PA; Image Source: Google Maps, accessed on October 22, 2025
Blue: Proposed annex building footprint; Red: Existing Site; Orange Triangle: View in Images 7 and 8, next page; Magenta Triangle: View in Images 9 and 10, page after next



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Image 7: Proposed 335-339 West Fourth Street and adjacent buildings, South Elevation, Bethlehem, PA; Drawn by Spillman Farmer Architects



Image 8: Proposed 335-339 West Fourth Street, Enlarged South Elevation; Drawn by Spillman Farmer Architects

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Image 9: Proposed 335-339 West Fourth Street and adjacent buildings, North Elevation, Bethlehem, PA; Drawn by Spillman Farmer Architects



Image 10: Proposed 335-339 West Fourth Street, Enlarged North Elevation, Inner Court facing North; Drawn by Spillman Farmer Architects

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Image 11: Proposed 335-339 West Fourth Street, South Facade looking West; Rendered by Spillman Farmer Architects



Image 12: Proposed 335-339 West Fourth Street, South Facade; Rendered by Spillman Farmer Architects

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Image 13: Proposed 335-339 West Fourth Street, East Facade looking West; Rendered by Spillman Farmer Architects



Image 14: Proposed 335-339 West Fourth Street, North Facade looking South; Rendered by Spillman Farmer Architects

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NARRATIVE OF PROPOSED WORK

The existing 3-storey structure, built sometime between 1912-1950 (See Section 02 for more information on the building's history), currently has an Exterior Insulation and Finish Surface and a low-slope EPDM roof. This EIFS surface was applied to the original brick finish in 1986/ 1987. Programmatically speaking, the existing first storey of the annex building houses a community room, along with individual restrooms and shower rooms. The existing second and third stories of the annex building contains mostly small, dormitory style rooms and shared, individual shower rooms, on each floor (See Enlarged Plans, separate attachment, for programs).

As stated earlier, the proposed replacement structure will be 3 stories. In terms of both aesthetics and massing, the new structure will respect the existing fabric of the neighborhood (See Section 04 for how the proposed new structure works with the existing fabric of the neighborhood and strives to meet the Design Guidelines established by the City of Bethlehem Historic Conservation Commission). Similar to the existing structure to be demolished, the Ground Floor of the new structure will house community spaces. Some of these spaces include a Community Room, Individual Restrooms, Individual Shower Rooms, Individual Medical Exam Rooms, along with a more formal entry (Waiting Room and Reception). The Second and Third Floors of the new annex building, like the existing structure to be demolished, will contain housing units. However, instead of these units being dormitory-style rooms, these units will be Efficiencies that contain their own Bathrooms and Kitchenettes.

335-339 West Fourth Street was constructed during the District's "period of significance" (approximately 1895 to 1950). Because 335-339 West Fourth Street was constructed during this "period of significance," it is considered a "contributing structure," per the City of Bethlehem's Historic Conservation Commission (HCC) Design Guidelines (Published June 2004) and the City of Bethlehem Historic Ordinance Article 1714 (Passed 05/16/2007).¹ As a "contributing structure," demolition is strongly discouraged because the loss of such a structure is considered, as the HCC Design Guidelines state, a "drastic action" that "alters the character of the streetscape."

Although the HCC Design Guidelines discourage demolition of a "contributing structure," the site's current structural condition, along with the existing nature of the building site, makes it very challenging to build an addition to the existing annex while retaining it. This is for several reasons. First and foremost, the existing site is structurally unstable (The structural instability of the site is evident in the partial collapse of a stone retaining wall directly north of the existing annex; refer to Images 15, 16, 17, 18, 19, 20). Because the site is structurally unstable, site stabilization measures must be performed - measures that may very well compromise the existing annex structure if it is retained (it is important to note that although emergency site stabilization has been performed, this is only temporary and not permanent). That being said, the requirement to perform permanent site stabilization measures in and of themselves, before performing the addition work, leads to the second reason why it is very challenging to build an addition to the annex while retaining it: site accessibility issues. Although no physical objects (i.e. buildings or structures) occupy the north end of the building site, this area is occupied by the Cathedral Church of the Nativity's parking lot (321 Wyandotte Street). This parking lot serves both the Church and New Bethany and is essential for both organizations' daily use. So, although no physical objects impede access to the site from the north, the area cannot be used to stage equipment or materials to perform permanent site stabilization and addition work because to do so would have a detrimental impact on the daily operations of both the Church of the Nativity and New Bethany.

FOOTNOTES:

1. Both the City of Bethlehem's Historic Conservation Commission's Design Guidelines and the City Zoning Ordinance Article 1714 Historic Conservation District South Bethlehem and Mount Airy define "period of significance." The term "Contributing Structure," however, is only defined in the City of Bethlehem's Historic Conservation Commission's Design Guidelines.

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Image 15: Enlarged View of Site Survey Plan, 335-339 West Fourth Street; Survey by Barry Isett Associates, Inc. [For full-size plan, refer to separate drawing package] Blue Outline: Existing Annex; Red Line: Location of collapsed stone retaining wall. Blue Triangle: Image 16, below left; Orange Triangle: Image 17, below right; Magenta Triangle: Image 18, top image next page; Red Triangle: Image 19, bottom image next page.



Image 16 (left) and Image 17 (right): Images of collapsed stone retaining wall on site looking from east towards the west; Images taken by Spillman Farmer on April 11, 2023.

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Image 18: Image of collapsed stone retaining wall on site looking from east towards west; Image taken by Spillman Farmer on April 11, 2023.



Image 19: Image of collapsed stone retaining wall on site looking from west towards northeast; Image taken by Spillman Farmer on April 11, 2023.

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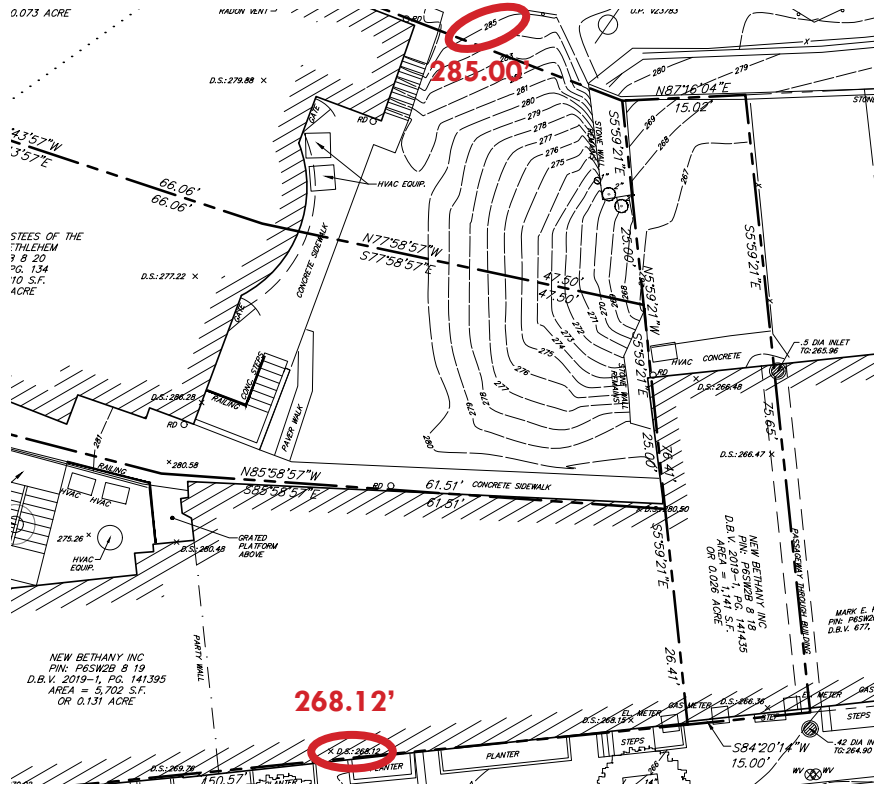


Image 20: Enlarged View of Site Survey Plan, 335-339 West Fourth Street; Survey by Barry Isett Associates, Inc. [For full-size plan, refer to separate drawing package] Grades indicated in Red Circles. Low end at bottom of plan (West Fourth Street) and high end located at top of plan (Parking Lot accessed via Wyandotte Street).

Lastly, the unusually steep site topography makes it very challenging to conduct work on the site while retaining the existing annex. A nearly 17'-0" grade change exists from south (West Fourth Street, front of existing annex, low end of site) to north (the parking lot behind the existing annex, high end of site, see Image 20, above). This unusual grade change essentially creates a natural wall at the north end of the site, making a south approach to the site the only viable way to construct the addition (which therefore necessitates the removal of the existing annex building).

It is for these reasons - the structurally unstable site, the site accessibility issues, and the unusually steep site topography - that demolition of the existing annex is being sought. It is important to reiterate that the construction of the addition to a new annex is crucial to New Bethany's mission in the community and the demolition of the existing annex - and its full replacement with an addition - is the only way New Bethany can meet the unique challenges facing those in need today. Renovation of the existing annex alone cannot help those in the community in need because the existing annex can no longer provide the greater variety of services that is now required.

One may be wondering: Why not place this addition on another building on the site, rather than on the annex? Placing the addition on the annex, rather than placing the addition on another building on site, is the only logical option because the building in which the annex is attached - 341-345 West Fourth Street - also has housing units and some community functions (and thus serves a similar function to the annex). The other buildings on site - 331 and 333 Wyandotte Street and 333 West Fourth Street - currently house administrative and support spaces, which are not of a similar function, and therefore not suitable candidates to place an addition. Moreover, these other buildings on site - 331 and 333 Wyandotte Street and 333 West Fourth Street - have historic significance and any addition to either one of them may very well endanger their historical integrity.

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NARRATIVE OF PROPOSED WORK

Before concluding, a note is warranted again on the historical integrity of the existing annex. From the time the original annex was constructed (1912-1950) to the present-day, two substantial modifications were made to the building [see diagrams a and b, below]. The first substantial modification to the original 2-storey annex occurred sometime between 1952-1985. During this period, a third storey was added to the annex building. The second substantial modification occurred in 1986/ 1987. At this time, the EIFS finish was applied to the existing annex (See Section 02 for more information on the building's history). It is important to again note these two modifications to the existing annex building because they caused the building to lose its historical integrity. Because the building has lost its historical integrity due to these substantial modifications, it is no longer compatible with the South Bethlehem Historic Conservation District, and therefore, its loss will have neither a significant nor detrimental impact on the surrounding historical fabric.



Diagram a: pre-1985 photograph of 335-339 West Fourth Street, provided by New Bethany



Diagram b: 2019 Google Street View Image, 335-339 West Fourth Street

02

HISTORICAL BACKGROUND

02_335-339 W. 4TH STREET HISTORICAL BACKGROUND

An exact date of construction for the current annex building at 335-339 West Fourth Street cannot be determined because neither records nor drawings have been discovered that indicate a construction date. That being said, Sanborn maps² of Bethlehem suggest the building was constructed anytime between 1938 and 1950, and quite possibly as early as 1912. So, a construction date between 1912-1950 is proposed for the current annex building at 335-339 West Fourth Street because the 1912 Sanborn map of this section of Bethlehem does not show a structure at 335-339 West Fourth Street that resembles its current footprint, yet a 1950 Sanborn map, with hand-written corrections to the Sanborn map made between 1938-1950, does show a building resembling its current footprint.³ [See Images 21 and 22, below, and Image 23, next page].

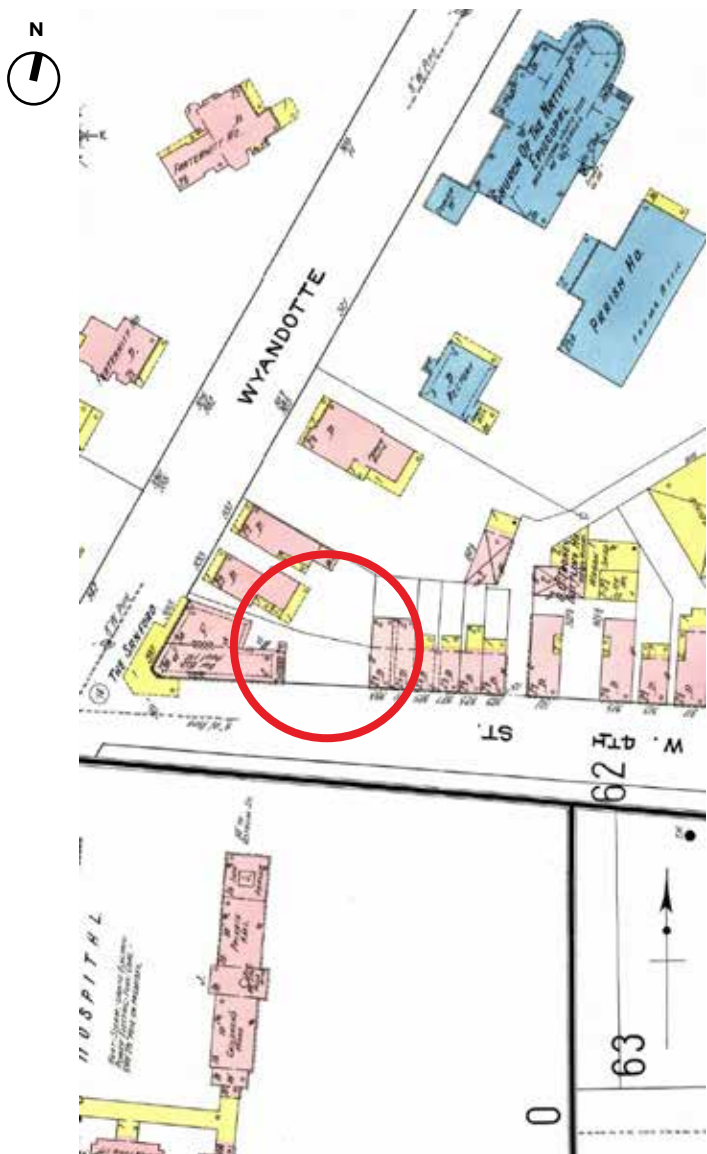


Image 21: 1912 Sanborn Map

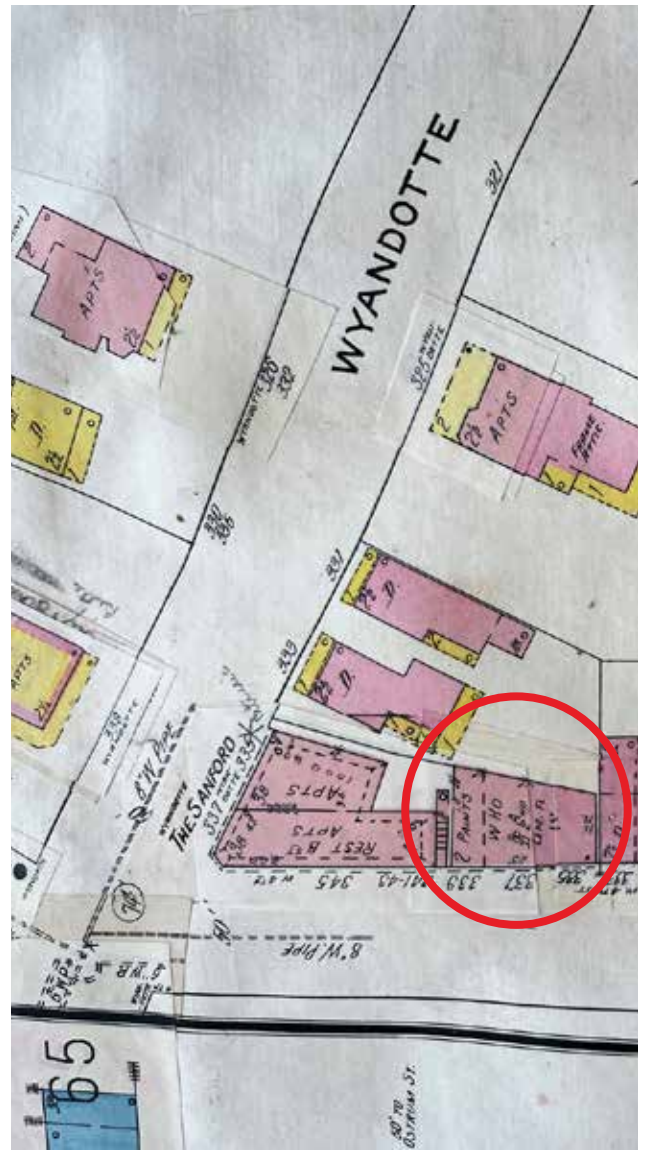


Image 22: 1950 Sanborn Map, with corrections made between 1938-1950

FOOTNOTES:

2. Sanborn Maps were created in the late 19th and early-to-mid 20th centuries by The Sanborn Map Company. These were maps of cities and towns in the United States that allowed fire insurance companies to assess liability in these cities and towns. The maps are considered important documents for historians because they documented changes in urban areas of the United States for over half a century. All of the above and subsequent Sanborn maps were provided to Spillman Farmer Architects by Jeff Long, Historic Officer of the HCC, on June 14, 2023, via email.
3. Per Jeff Long email to Spillman Farmer Architects on June 27, 2023. Long stated "The 1952 [Sanborn] map reflects the site situation that year and now includes the structure currently situated between the dominant corner as well as the initial structure in a series of row houses. The map dated "1950" includes various revisions that were affixed to an original map dating from 1912 ... note visible seams and overlaps when corrections were entered. According to the associated corrections record glued inside the front cover, these revisions were completed during the period 1938-1950. With these new images, I concur that the structure currently proposed for demolition was completed sometime during that timeframe (or perhaps even prior to the initial 1938 correction) and is indeed a "contributing structure" to the Historical Conservation District because it was constructed during the District's period of significance (ca. 1885 until 1950)."

02_335-339 W. 4TH STREET HISTORICAL BACKGROUND

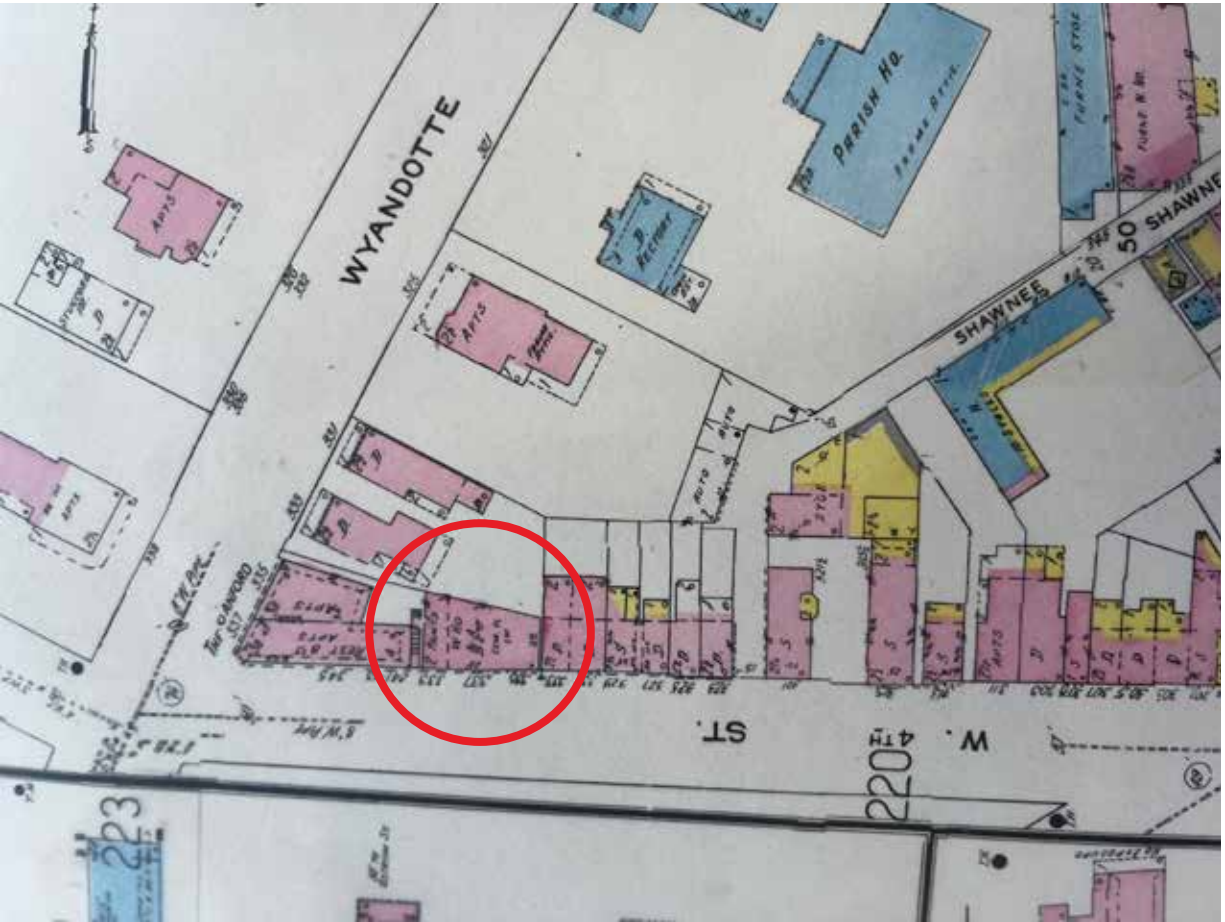


Image 23: 1952 Sanborn Map

As suggested on the previous page, several structures did exist at 335-339 West Fourth Street prior to 1912, yet none of these structure's footprints matches the footprint of what currently resides on site today. In fact, at least two of the structures that existed at 335-339 West Fourth Street prior to 1912 were merely appendages to 337-339 Wyandotte Street/ 341-345 West Fourth Street [Refer to Images 24, 25, and 26].

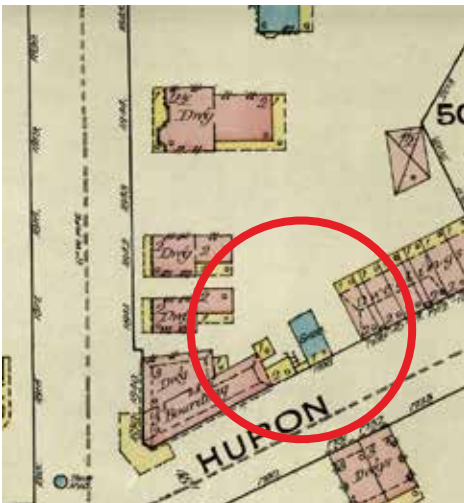


Image 24: 1885 Sanborn Map



Image 25: 1892 Sanborn Map



Image 26: 1904 Sanborn Map

02_339 W. 4TH STREET HISTORICAL BACKGROUND

The annex building that currently resides at 335-339 West Fourth Street was originally two stories in height, as noted by the 1952 Sanborn map [Refer to Image 23, previous page]. After its original construction date of 1912-1950, the annex building received two substantial alterations, both impacting its historical integrity greatly. The first substantial alteration, carried out between 1952 and 1985, added a third storey to the structure. Not only does the 1952 Sanborn maps tell us that the third storey was not original to the 1912-1950 construction, but the brickwork and fenestration pattern of the third storey tells us the same thing insofar as brickwork and fenestration differ substantially from the two storey portion of the building's brickwork and fenestration pattern [Refer to Images 29, 30, and 31, taken sometime prior to the 1986 renovation].

The second substantial alteration to 335-339 West Fourth Street occurred in 1986/ 1987. In this year, fenestration patterns were modified on the first two stories, all windows were replaced, a 'Spanish Style Pent Roof' was removed from above the second story windows (construction date of the 'Spanish Style Pent Roof' is unknown, but is likely original), and an Exterior Insulation and Finish System was adhered to the original brickwork on all facades [see images 27 and 28, below].

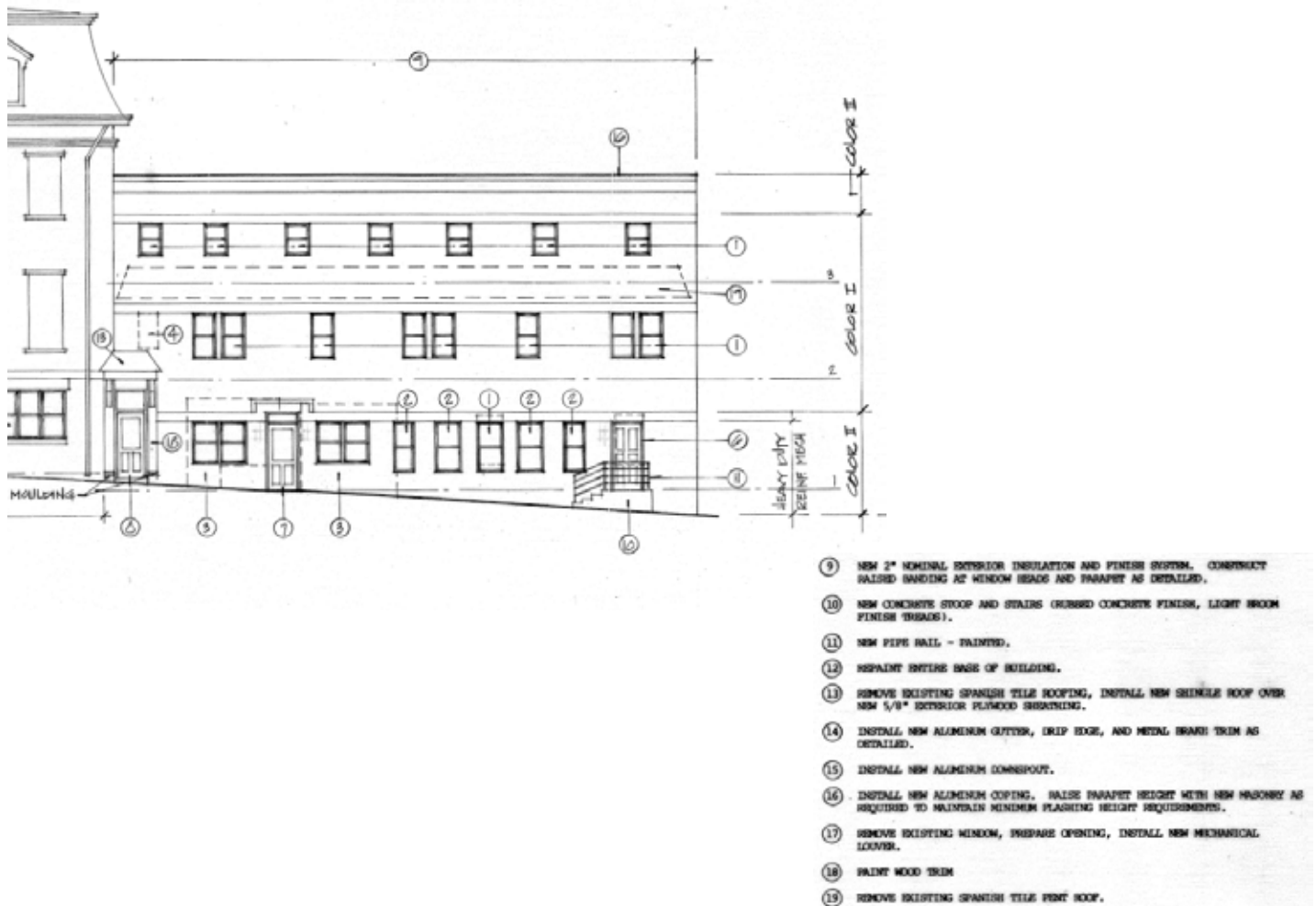


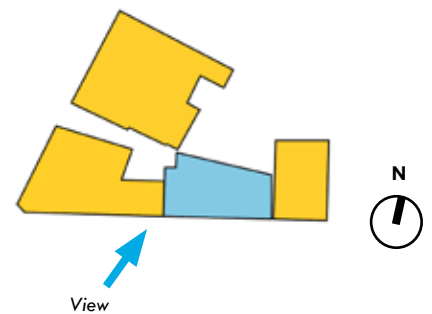
Image 27: top, elevation, 1985; Image 28: right, elevation notes; Drawings and Notes by Spillman Farmer Architects, August 6, 1986

02_339 W. 4TH STREET HISTORICAL BACKGROUND

The oldest surviving photographs of the current 335-339 West Fourth Street were taken prior to the 1986/1987 renovation. These photographs were most likely taken between the late 1970s and the early 1980s. [Images 29, 30, and 31]. These photographs show the clear difference between the first two stories and the third storey, in terms of both the materials (two different brick finishes) and the fenestration patterns (irregular on the first two stories and regular on the third storey).



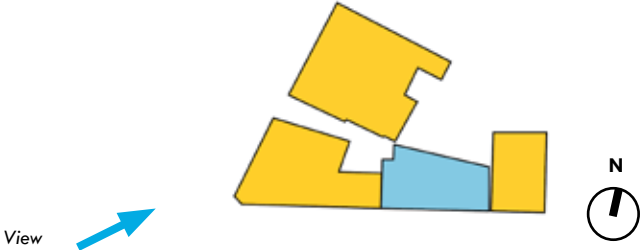
Image 29: 335-339 West Fourth Street, South Elevation; circa 1970-1985; Photograph provided by New Bethany



02_339 W. 4TH STREET HISTORICAL BACKGROUND



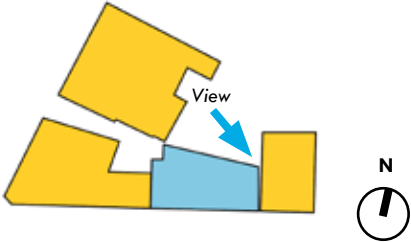
Image 30: 335-339 West Fourth Street, from Wyandotte Street; 1970-1985; Photograph provided by New Bethany



02_339 W. 4TH STREET HISTORICAL BACKGROUND



Image 31: 335-339 West Fourth Street, from north; 1970-1985; Photograph provided by New Bethany



03

EXISTING SITE PHOTOGRAPHS

03_335-339 W. 4TH STREET EXISTING SITE PHOTOGRAPHS



Image 32, left: 341-345 West Fourth Street, Bethlehem, PA (existing); Image 33, middle: 335-339 West Fourth Street (existing); Image 34, right: 333, 331, and 329 West Fourth Street (existing). Images taken by Spillman Farmer Architects on December 5, 2025.



Image 35: West Fourth Street, Bethlehem, PA; Image Source: Google Maps, accessed on October 22, 2025

Blue: Existing annex building footprint; Red Triangle: View in Image 32, above; Orange Triangle: View in Image 33, above; Magenta Triangle: View in Image 34, above



**03_335-339 W. 4TH STREET
EXISTING SITE PHOTOGRAPHS**



Image 36: Enlarged View, 341-345 West Fourth Street, Bethlehem, PA. Image taken by Spillman Farmer Architects on December 5, 2025.

**03_335-339 W. 4TH STREET
EXISTING SITE PHOTOGRAPHS**



Image 37: Enlarged View, 339-335 West Fourth Street, Bethlehem, PA. Image taken by Spillman Farmer Architects on December 5, 2025.

**03_335-339 W. 4TH STREET
EXISTING SITE PHOTOGRAPHS**



Image 38: Enlarged View, 335-339 West Fourth Street (extreme left), 333 West Fourth Street (left), 331 West Fourth Street (middle), and 329 West Fourth Street (right), Bethlehem, PA. Image taken by Spillman Farmer Architects on December 5, 2025.

03_335-339 W. 4TH STREET EXISTING SITE PHOTOGRAPHS



Image 39, left: 316-318 West Fourth Street, Bethlehem, PA (existing); Image 40, middle: 320-324 West Fourth Street (existing); Image 41, right: 326-328 West Fourth Street (existing). Images taken by Spillman Farmer Architects on December 5, 2025.



Image 42: West Fourth Street, Bethlehem, PA; Image Source: Google Maps, accessed on October 22, 2025
 Blue: Existing annex building footprint; Red Triangle: View in Image 41, above; Orange Triangle: View in Image 40, above; Magenta Triangle: View in Image 39, above



**03_335-339 W. 4TH STREET
EXISTING SITE PHOTOGRAPHS**



Image 43: Enlarged View, 316-318 West Fourth Street, Bethlehem, PA. Image taken by Spillman Farmer Architects on December 5, 2025.

**03_335-339 W. 4TH STREET
EXISTING SITE PHOTOGRAPHS**



Image 44: Enlarged View, 320-324 West Fourth Street, Bethlehem, PA. Image taken by Spillman Farmer Architects on December 5, 2025.

**03_335-339 W. 4TH STREET
EXISTING SITE PHOTOGRAPHS**



Image 45: Enlarged View, 326-328 West Fourth Street, Bethlehem, PA. Image taken by Spillman Farmer Architects on December 5, 2025.

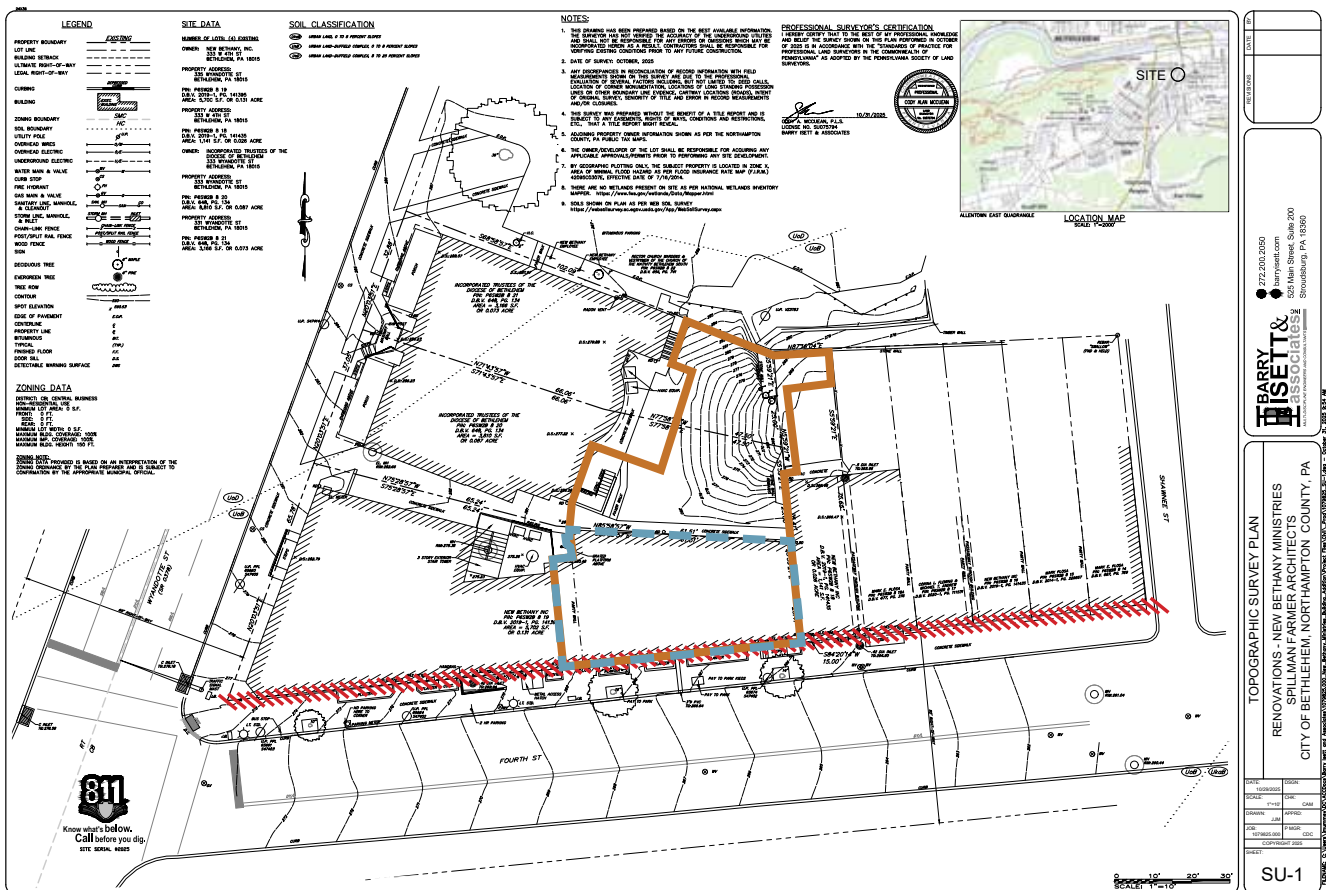
04

PROPOSED WORK - DIAGRAMS OF DESIGN INTENT

04_339 W. 4TH STREET PROPOSED WORK

The goal of the new annex's design is to work harmoniously with the surrounding historic fabric. The new construction does so by:

- Matching the setbacks of adjacent buildings on West Fourth Street
- Respecting the size and scale of the adjacent buildings/ relating to the dominate proportions of the adjacent buildings on West Fourth Street
- Reflecting the height and width ratios of doors and windows seen on adjacent buildings on West Fourth Street
- Closely aligning with the proportions of solids (walls) to voids (windows and door openings) apparent on adjacent buildings on West Fourth Street
- Respecting the rhythm and patterns (location and spacing between doors and windows) of the adjacent building facades on West Fourth Street by creating a similar effect of rhythm and pattern
- Mimicking the rear of a 'row home' on the North Elevation (heights, solids vs. voids, et cetera) to match the rears of the adjacent row homes



a. Diagram illustrating new construction setback matches the setbacks of the adjacent buildings on West Fourth Street
 Red Hatch: Existing Setback; Blue Dash: Existing Annex Outline (holds to setback); Orange Line: Proposed Annex Outline (holds to setback)

04_339 W. 4TH STREET PROPOSED WORK



b. Diagram illustrating new construction respects the size and scale of the adjacent buildings on West Fourth Street



c. Diagram illustrating new construction reflects the height and width ratios of doors and windows seen on adjacent buildings on West Fourth Street

04_339 W. 4TH STREET PROPOSED WORK

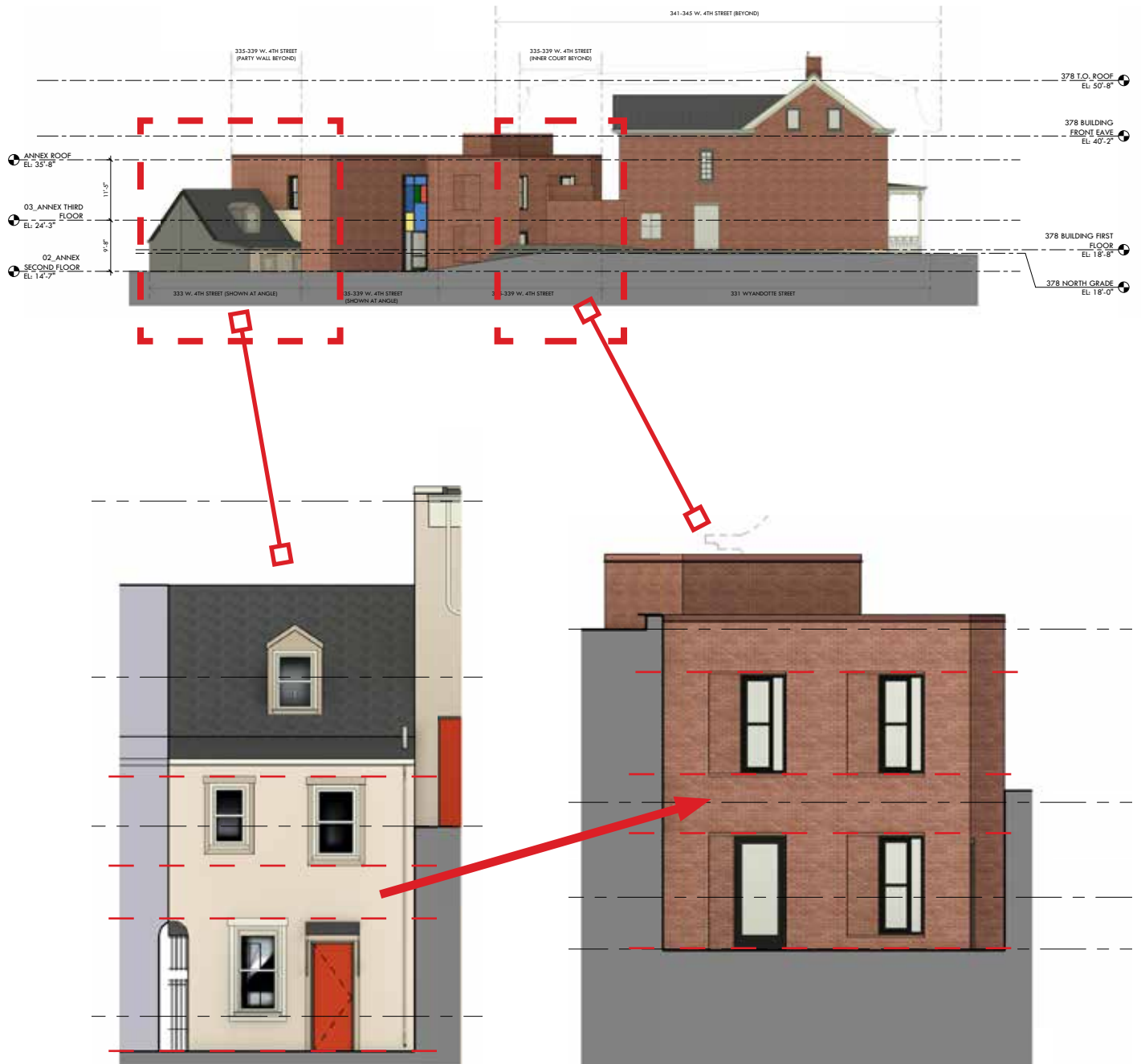


d. Diagram describing new construction aligns with the proportions of solids to voids apparent on adjacent buildings on West Fourth Street and creates a continuity between the cream brick of 341-345 West Fourth Street and the cream brick of 333 West Fourth Street (red outline).



e. Diagram describing new construction respects the rhythm and patterns of the adjacent building facades on West Fourth Street

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f. Diagram describing new construction on North Elevation mimics the rear of a 'row home,' but made regular (heights, solids vs. voids, et cetera)

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g. Elevation with 'Stained Glass' Window Highlighted

Finally, a note is warranted regarding the employment of 'stained glass' windows on the South, East, and North facades of the proposed annex and addition. The 'stained glass' windows represent abstractions of the Diocesan House Windows that link the rear of 331 and 333 Wyandotte Street (New Bethany's administrative buildings, refer to Images 45, 46, 47, and 48, which housed offices of the Cathedral Church of the Nativity prior to New Bethany) and serve to reference these important, yet hardly visible, windows to the public.

The Diocesan House Windows are not original to 331 and 333 Wyandotte Street. Rather, they were designed for the Chapel of Hope on the Talbot Hall Jonestown campus by French artist Gabriel Loire (1904-1996). According to the Diocesan House Window's dedication card in 331 and 333 Wyandotte Street, the windows "symbolized the most precious gift that Talbot Hall gave to the children - the gift of hope for a better future."⁴ Talbot Hall's mission until it was dissolved in 1981 was directed towards "the care and rehabilitation of children and young persons whose home lives had been so disrupted or had become so intolerable as to necessitate specialized care and training."⁵ Loire's windows for Talbot Hall were brought to Bethlehem after Talbot Hall's closure in 1981 and installed in the 1986 construction linking the then Diocese buildings of 331 and 333 Wyandotte Street. They were brought to Bethlehem to recognize Cathedral Church of the Nativity congregation member Sidney Brandon Spillman's (b. 1934, wife of Robert Spillman, 1931-2017, of Spillman Farmer Architects) service to the children of Talbot Hall, where she had previously served as the chair of the Talbot Hall committee and before that, the president of Talbot Hall.

The 'stained glass' windows on the annex's facades serve to make visible the Diocesan House Windows to the public. In doing so, they reference the Diocesan House Window's predominate use of blues, and the sparse use of red, yellow, and green, in a simplified and abstract manner.

FOOTNOTES:
4. See the Diocesan House Window's Dedication Card in New Bethany's offices located in 331 and 333 Wyandotte Street.
5. Ibid.

**04_339 W. 4TH STREET
PROPOSED WORK**



Image 46: Exterior of Diocesan House Windows, 331 and 333 Wyandotte Street, looking West from East; Image taken by Spillman Farmer Architects, April 11, 2023.



Image 47: Interior of Diocesan House Windows, 331 and 333 Wyandotte Street, looking East from West; Image taken by Spillman Farmer Architects, April 11, 2023.

**04_339 W. 4TH STREET
PROPOSED WORK**



Image 48: Close-up of Diocesan House Windows, 331 and 333 Wyandotte Street; Image taken by Spillman Farmer Architects, April 11, 2023.

04_339 W. 4TH STREET PROPOSED WORK

How proposed annex building relates to original annex building:

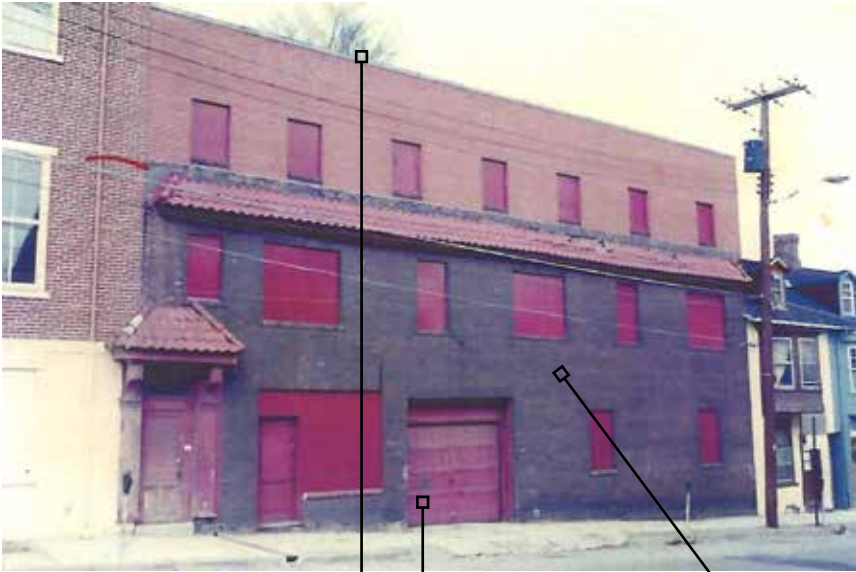
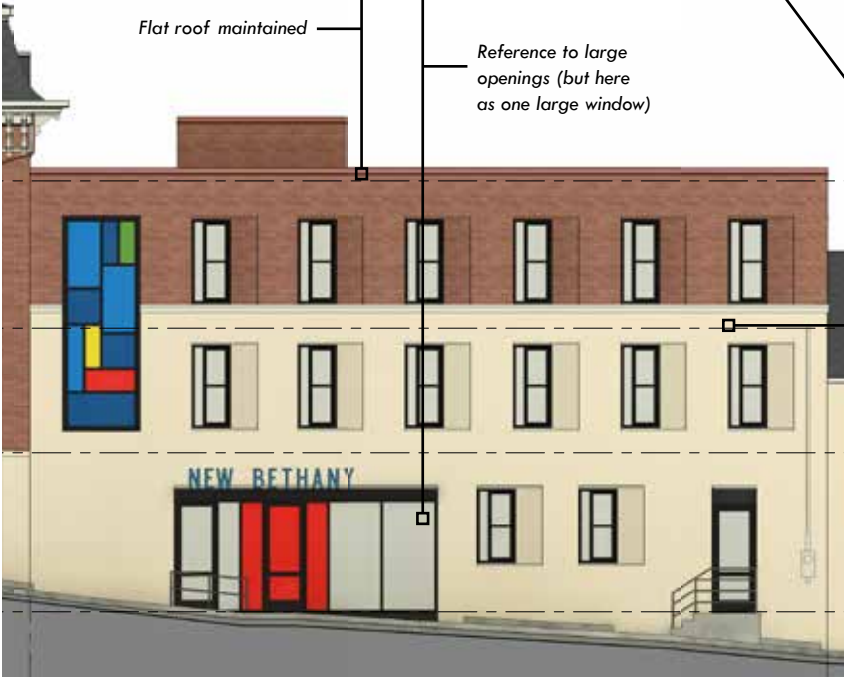


Image 49. Annex Building, pre-1985



Flat roof maintained

Reference to large openings (but here as one large window)

Two brick veneer maintained from pre-EIFS facade (although the bricks are different colors in the proposed elevations)

Image 50. Proposed facade for new Annex Building

Top Image: Annex Building, post 1952 to pre-1985.
Bottom Image: Proposed facade for new Annex Building.

05

PROPOSED MATERIALS

05_335-339 W. 4TH STREET PROPOSED MATERIALS



Image 51: Proposed 335-339 West Fourth Street, South Elevation; Drawn by Spillman Farmer Architects

- A.** Lower Brick: Basis-of-Design: Watertown Manhattan Series Riverdale Smooth Clear
- B.** Upper Brick: Basis-of-Design: Watertown Pennsylvania Series Rosemont Clear
- C.** Cast Stone Sill/ Watertable: Basis-of-Design: Rockcast SL-225, Riesling
- D.** Cast Stone Sill/ Watertable: Basis-of-Design: Rockcast SL-225, Merlot **[NOT USED HERE]**
- E.** Cast Stone Header 1: Basis-of-Design: Rockcast HD-2256, Merlot
- F.** Cast Stone Header 2: Basis-of-Design: Rockcast HD-2256, Riesling
- G.** Cast Stone Band: Basis-of-Design: Rockcast BA-100, Riesling
- H.** Coping: Basis-of-Design: ATAS Rapid-Lok Coping; 6”H, Mission Red
- I.** Window: Custom ‘Stained-Glass’: Red, Blue (dark and light), Yellow, and Red Window Film/ 2-1/2” Mullions, Irregular pattern
- J.** Window: Basis-of-Design: Pella Traditional Monumental-Hung Window, Aluminum Clad Exterior, Dual-Pane Double Hung; Black
- K.** Storefront: Basis-of-Design: Kawneer IR 501, 2-1/2” Sightline; Black
- L.** 10” tall Canopy: Basis-of-Design Material Finish: ATAS Black
- M.** “NEW BETHANY” in ATAS Regal Blue, 18” High; Font: Field Gothic No.33 Med XCond

05_335-339 W. 4TH STREET PROPOSED MATERIALS

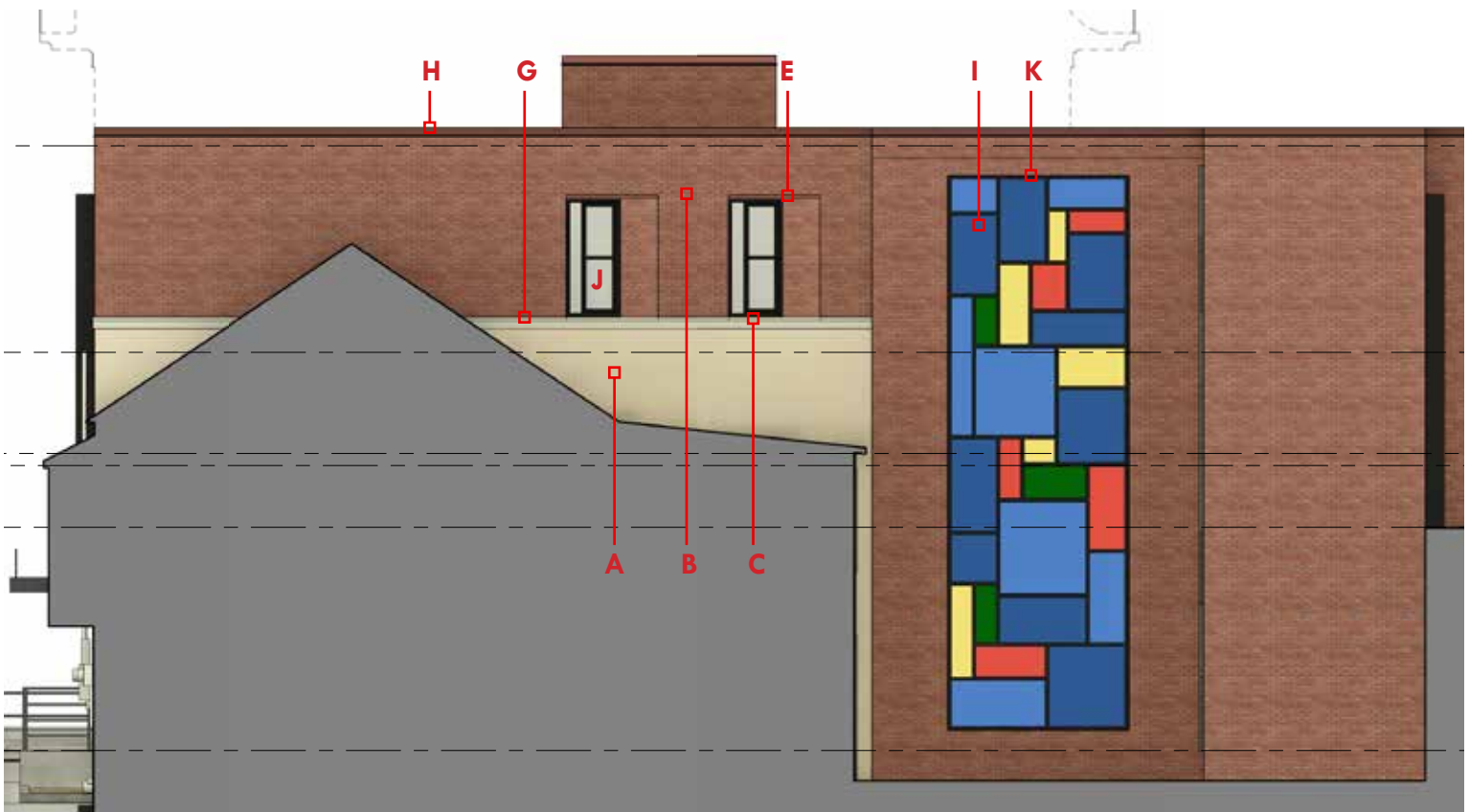


Image 52: Proposed 335-339 West Fourth Street, East Elevation; Drawn by Spillman Farmer Architects

- A.** Lower Brick: Basis-of-Design: Watsonstown Manhattan Series Riverdale Smooth Clear
- B.** Upper Brick: Basis-of-Design: Watsonstown Pennsylvania Series Rosemont Clear
- C.** Cast Stone Sill/ Watertable: Basis-of-Design: Rockcast SL-225, Riesling
- D.** Cast Stone Sill/ Watertable: Basis-of-Design: Rockcast SL-225, Merlot **[NOT USED HERE]**
- E.** Cast Stone Header 1: Basis-of-Design: Rockcast HD-2256, Merlot
- F.** Cast Stone Header 2: Basis-of-Design: Rockcast HD-2256, Riesling **[NOT USED HERE]**
- G.** Cast Stone Band: Basis-of-Design: Rockcast BA-100, Riesling
- H.** Coping: Basis-of-Design: ATAS Rapid-Lok Coping; 6”H, Mission Red
- I.** Window: Custom ‘Stained-Glass’: Red, Blue (dark and light), Yellow, and Green Window Film/ 2-1/2” Mullions, Irregular pattern
- J.** Window: Basis-of-Design: Pella Traditional Monumental-Hung Window, Aluminum Clad Exterior, Dual-Pane Double Hung; Black
- K.** Storefront: Basis-of-Design: Kawneer IR 501, 2-1/2” Sightline; Black
- L.** 10” tall Canopy: Basis-of-Design Material Finish: ATAS Black **[NOT USED HERE]**
- M.** “NEW BETHANY” in ATAS Regal Blue, 18” High; Font: Field Gothic No.33 Med XCond **[NOT USED HERE]**

05_335-339 W. 4TH STREET PROPOSED MATERIALS

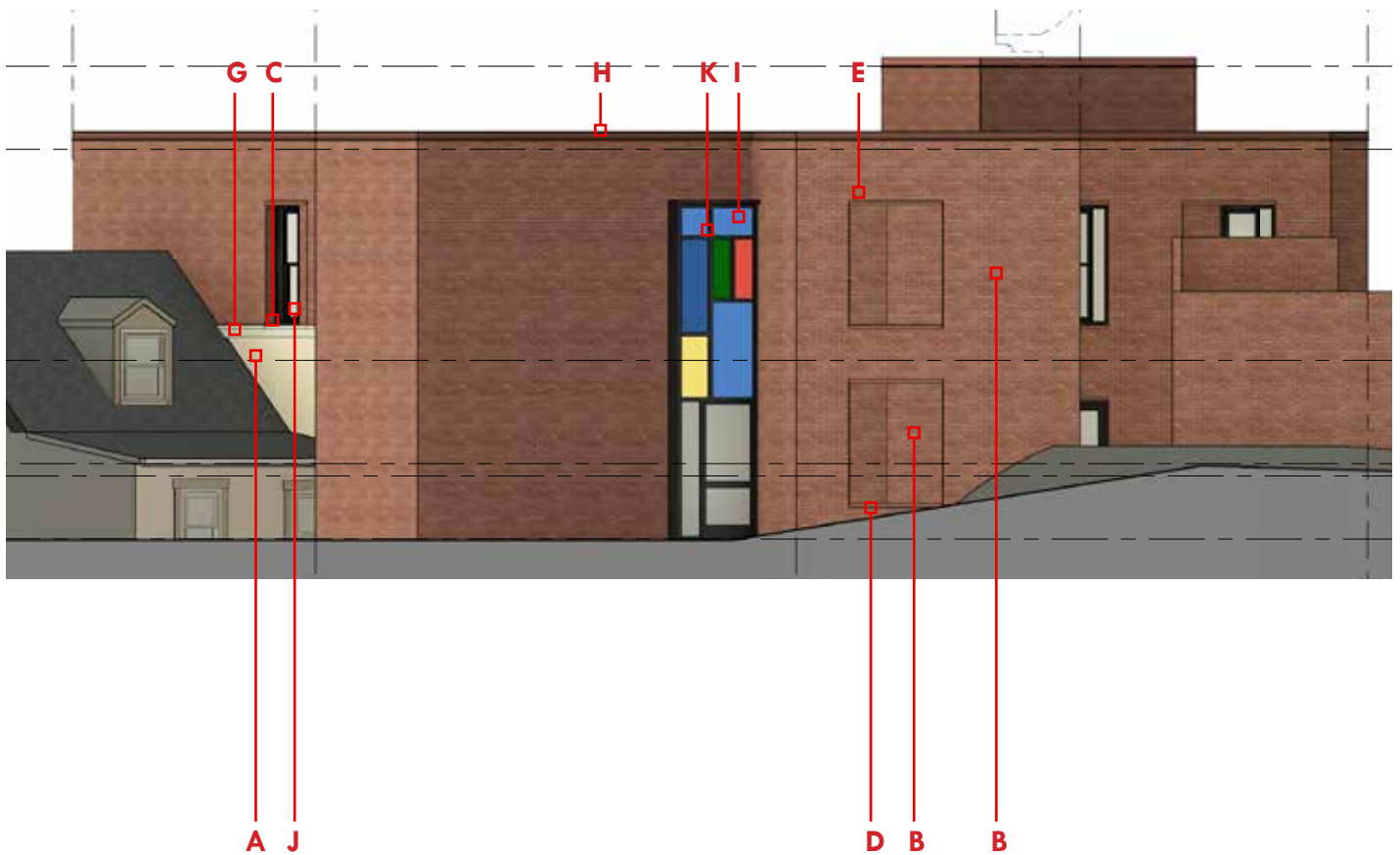


Image 53: Proposed 335-339 West Fourth Street, North Elevation; Drawn by Spillman Farmer Architects

- A.** Lower Brick: Basis-of-Design: Watsonstown Manhattan Series Riverdale Smooth Clear
- B.** Upper Brick: Basis-of-Design: Watsonstown Pennsylvania Series Rosemont Clear
- C.** Cast Stone Sill/ Watertable: Basis-of-Design: Rockcast SL-225, Riesling
- D.** Cast Stone Sill/ Watertable: Basis-of-Design: Rockcast SL-225, Merlot
- E.** Cast Stone Header 1: Basis-of-Design: Rockcast HD-2256, Merlot
- F.** Cast Stone Header 2: Basis-of-Design: Rockcast HD-2256, Riesling **[NOT USED HERE]**
- G.** Cast Stone Band: Basis-of-Design: Rockcast BA-100, Riesling
- H.** Coping: Basis-of-Design: ATAS Rapid-Lok Coping; 6”H, Mission Red
- I.** Window: Custom ‘Stained-Glass’: Red, Blue (dark and light), Yellow, and Green Window Film/ 2-1/2” Mullions, Irregular pattern
- J.** Window: Basis-of-Design: Pella Traditional Monumental-Hung Window, Aluminum Clad Exterior, Dual-Pane Double Hung; Black
- K.** Storefront: Basis-of-Design: Kawneer IR 501, 2-1/2” Sightline; Black
- L.** 10” tall Canopy: Basis-of-Design Material Finish: ATAS Black **[NOT USED HERE]**
- M.** “NEW BETHANY” in ATAS Regal Blue, 18” High; Font: Field Gothic No.33 Med XCond **[NOT USED HERE]**

05_335-339 W. 4TH STREET PROPOSED MATERIALS

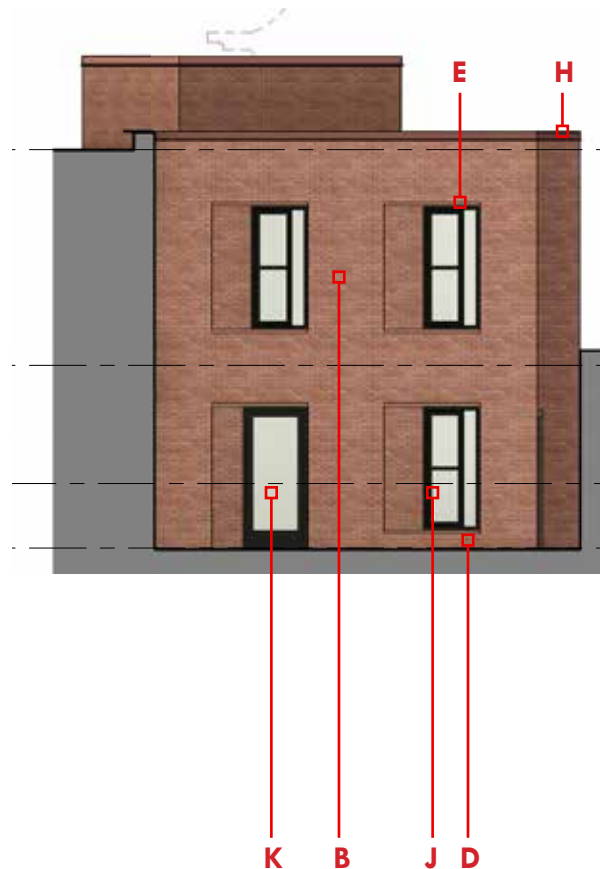
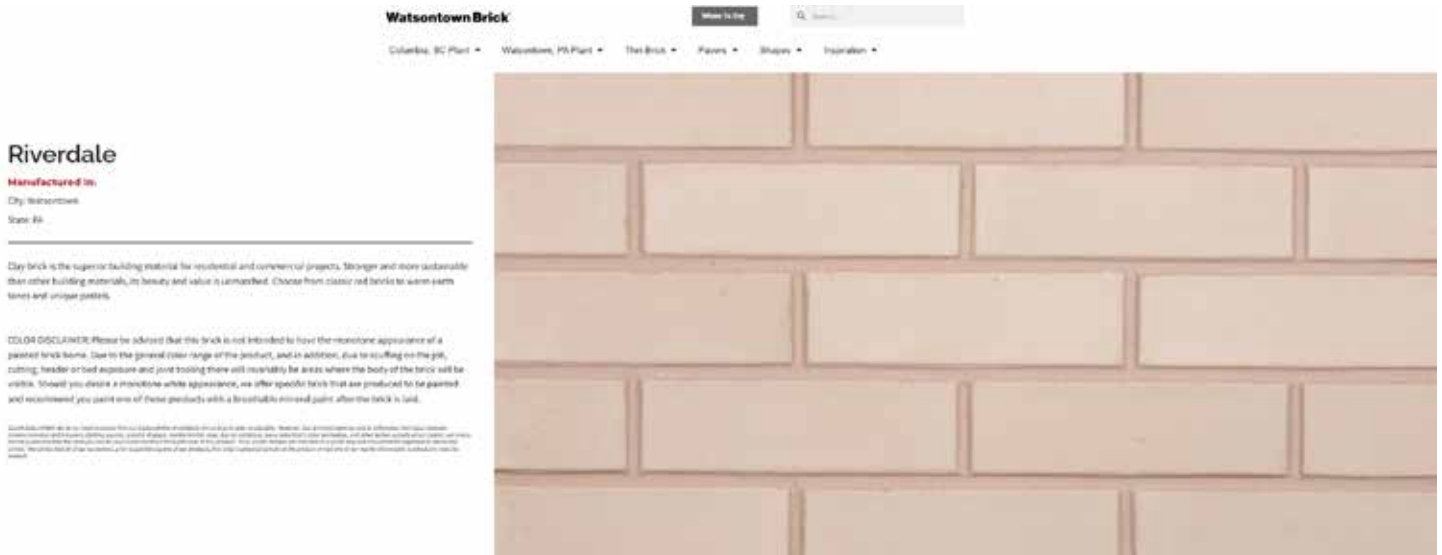


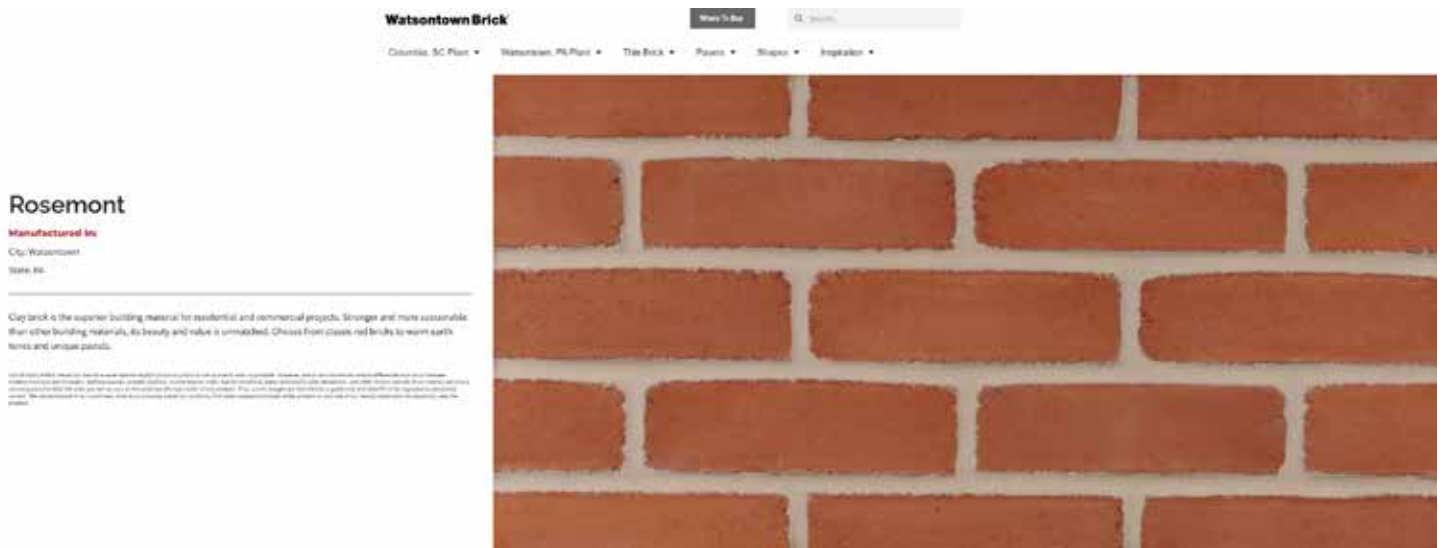
Image 54: Proposed 335-339 West Fourth Street, North Courtyard Elevation; Drawn by Spillman Farmer Architects

- A.** Lower Brick: Basis-of-Design: Watsonstown Manhattan Series Riverdale Smooth Clear **[NOT USED HERE]**
- B.** Upper Brick: Basis-of-Design: Watsonstown Pennsylvania Series Rosemont Clear
- C.** Cast Stone Sill/ Watertable: Basis-of-Design: Rockcast SL-225, Riesling **[NOT USED HERE]**
- D.** Cast Stone Sill/ Watertable: Basis-of-Design: Rockcast SL-225, Merlot
- E.** Cast Stone Header 1: Basis-of-Design: Rockcast HD-2256, Merlot
- F.** Cast Stone Header 2: Basis-of-Design: Rockcast HD-2256, Riesling **[NOT USED HERE]**
- G.** Cast Stone Band: Basis-of-Design: Rockcast BA-100, Riesling **[NOT USED HERE]**
- H.** Coping: Basis-of-Design: ATAS Rapid-Lok Coping; 6”H, Mission Red
- I.** Window: Custom ‘Stained-Glass’: Red, Blue (dark and light), and Yellow Window Film/ 2-1/2” Mullions, Irregular pattern **[NOT USED HERE]**
- J.** Window: Basis-of-Design: Pella Traditional Monumental-Hung Window, Aluminum Clad Exterior, Dual-Pane Double Hung; Black
- K.** Storefront: Basis-of-Design: Kawneer IR 501, 2-1/2” Sightline; Black
- L.** 10” tall Canopy: Basis-of-Design Material Finish: ATAS Black **[NOT USED HERE]**
- M.** “NEW BETHANY” in ATAS Regal Blue, 18” High; Font: Field Gothic No.33 Med XCond **[NOT USED HERE]**

05_335-339 W. 4TH STREET PROPOSED MATERIALS



Material **A** - Bottom Brick: Basis-of-Design: Watertown Manhattan Series Riverdale Smooth Clear; 3-5/8"W x 2-1/4"H x 7-1/4"L

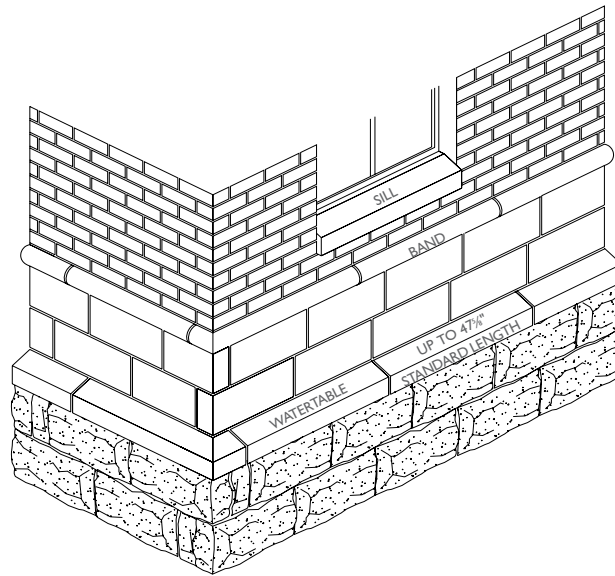


Material **B** - Top Brick Basis-of-Design: Watertown Pennsylvania Molded Series Rosemont Clear; ; 3-5/8"W x 2-1/4"H x 7-1/4"L

05_335-339 W. 4TH STREET PROPOSED MATERIALS

SILLS / WATERTABLES

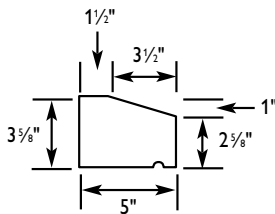
RockCast Custom Cast Stone is available in custom sizes to meet your design needs. Units are manufactured in standard 47 $\frac{5}{8}$ " lengths unless otherwise indicated or due to weight of the piece. Some profiles come standard with a drip edge of 1" from face. Please reference Shop Drawings for verification. Sill profiles available with lugs, see associate for details.



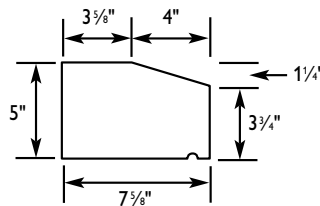
RIESLING
A soft, creamy beige with delicate golden undertones, reminiscent of ripid vineyards and aged limestone.



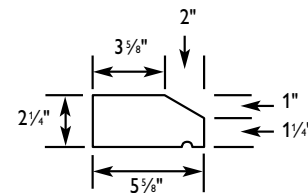
MERLOT
A deep, warm red with rich earthy undertones, reminiscent of aged wine and weathered clay.



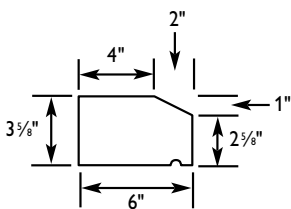
SL-100



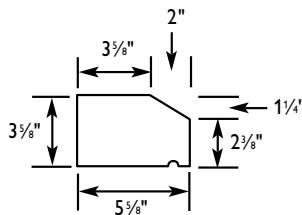
SL-200



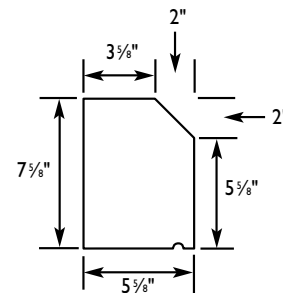
SL-225
(Standard length 23 $\frac{3}{8}$ "



SL-325



SL-350



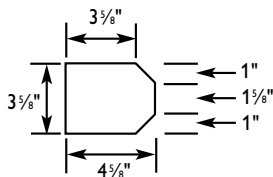
SL-375

Material **C** - Cast Stone Sill/ Watertable: Basis-of-Design: Rockcast SL-225; 2-1/4"H, Riesling
Material **D** - Cast Stone Sill/ Watertable: Basis-of-Design: Rockcast SL-225; 2-1/4"H, Merlot

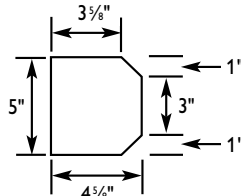
05_335-339 W. 4TH STREET PROPOSED MATERIALS

WATERTABLES / BANDS / HEADERS

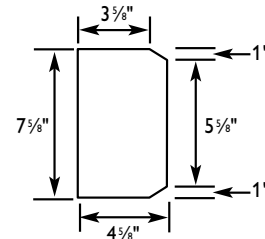
RockCast Custom Cast Stone is available in custom sizes to meet your design needs. Units are manufactured in standard 47 $\frac{5}{8}$ " lengths unless otherwise indicated or due to weight of the piece. Some profiles come standard with a drip edge of 1" from face. Please reference Shop Drawings for verification.



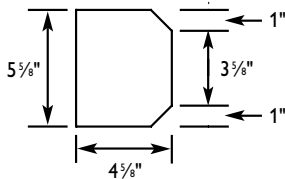
WT-825



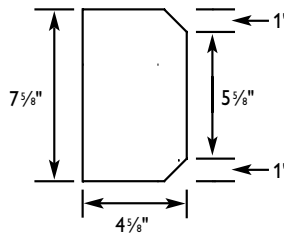
WT-875



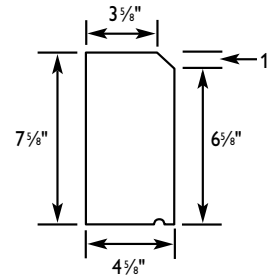
WT-900



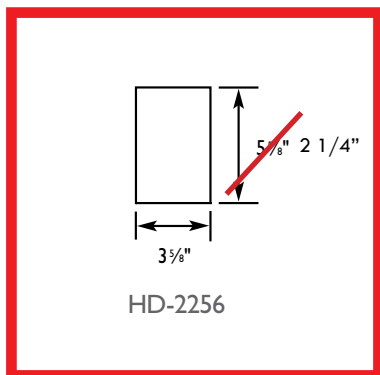
HD-2258



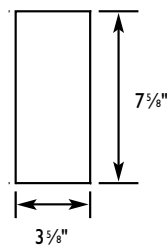
HD-2257



PA-2118(DE)



HD-2256



BA-100



MERLOT
A deep, warm red with rich earthy undertones, reminiscent of aged wine and woodstain only.



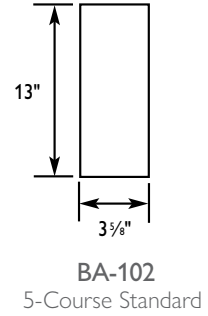
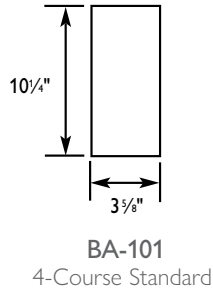
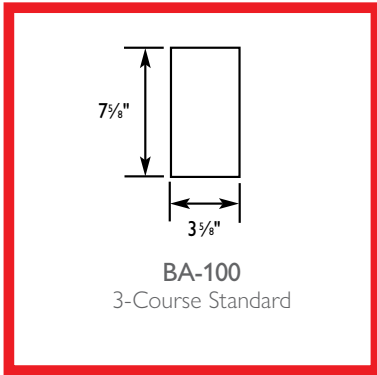
RIESLING
A soft, creamy beige with delicate golden undertones, reminiscent of white vineyards and aged limestone.

Material **E** - Cast Stone Header 1: Basis-of-Design: Rockcast HD-2256; 2-1/4" H (Custom), Merlot
Material **F** - Cast Stone Header 2: Basis-of-Design: Rockcast HD-2256; 2-1/4" H (Custom), Riesling

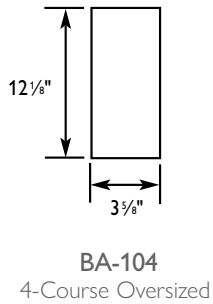
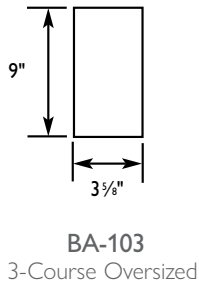
05_335-339 W. 4TH STREET PROPOSED MATERIALS

BANDS / HEADERS

STANDARD



OVERSIZED



RIESLING
A soft, creamy beige with delicate golden undertones, reminiscent of wild vineyards and aged limestone.

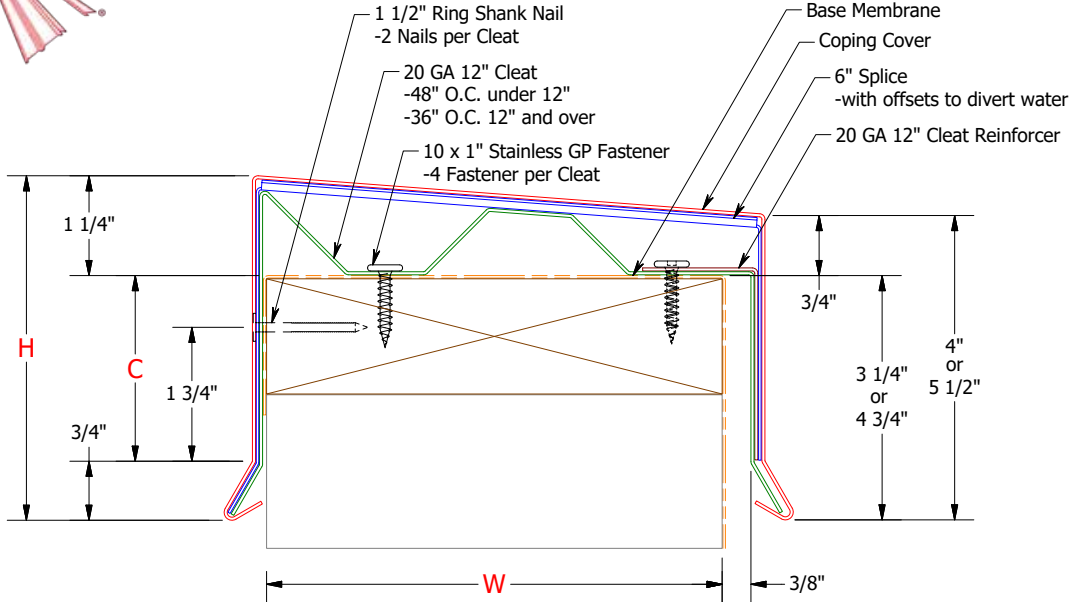
Material **G** - Cast Stone Band: Basis-of-Design: Rockcast BA-100; 7-5/8" H, Riesling

05_335-339 W. 4TH STREET PROPOSED MATERIALS



ATAS International, Inc.
Sustainable Solutions For A Better Future

RAPID-LOK COPING SPECIFICATION SHEET



Quantity:

- ___ Total LF (12'-0" pcs)
- ___ Radius Coping LF (6'-0" pcs)
(Radius: _____, Convex or Concave)
- ___ Vaulted Coping LF (6'-0" pcs)
(Radius: _____, Convex or Concave)

Standard Accessories:

- ___ Inside Mitered Corner(s) (Angle: _____)
- ___ Outside Mitered Corner(s) (Angle: _____)
- ___ End Closure(s) (___ Left, ___ Right)
- ___ End Term(s) (___ Left, ___ Right)

Custom Accessories: (sketches required)

- Inline Transition(s) -Tee(s)
- Transition Miter(s) -Zee(s)
- Ridge Miter(s) -Special Miter(s)
- Valley Miter(s)

***All Components for installing Accessories are included.**

MATERIAL:

Pre-Finished Aluminum .040 .050 .063

Mill Finished Aluminum .040 .050 .063

Pre-Finished Steel 24 ga 22 ga

Stainless Steel 24 ga 22 ga

COLOR: _____

ANSI/SPRI ES-1 Tested

Projects Requirement's
Horizontal Design Pressure: _____ psf
Vertical Design Pressure: _____ psf



Mission Red (08)

	C DIMENSION	H DIMENSION	W DIMENSION
-	2-1/2"	4-1/2"	4"-12"
-	4"	6"	4"-12"
-	5-1/2"	7-1/2"	4"-12"
-	2-1/2"	4-1/2"	12"-32"
-	4"	6"	12"-32"
-	5-1/2"	7-1/2"	12"-32"

Job Name: _____ Customer: _____
 Job #: _____ Representative: _____
 Location: _____ Distributor: _____

CUSTOMER APPROVAL

Authorized Signature: _____
 Approved by: _____
 Date: _____

Material **H** - Coping: Basis-of-Design: ATAS Rapid-Lok Coping; 6"H, Mission Red

05_335-339 W. 4TH STREET PROPOSED MATERIALS



Material I - Window: Custom 'Stained Glass' in Yellow, Red, Blue (2 total, darker left and lighter, right), and Green Film applied to glazing

05_335-339 W. 4TH STREET PROPOSED MATERIALS



Exterior Finishes

Our low-maintenance, aluminum-clad exteriors with EnduraClad® resist chalking and fading and are available in a wide variety of colors plus virtually unlimited custom options. Take durability further with EnduraClad Plus protective finish, which meets the industry's highest exterior coating standard to defend against chalking and fading.²⁶



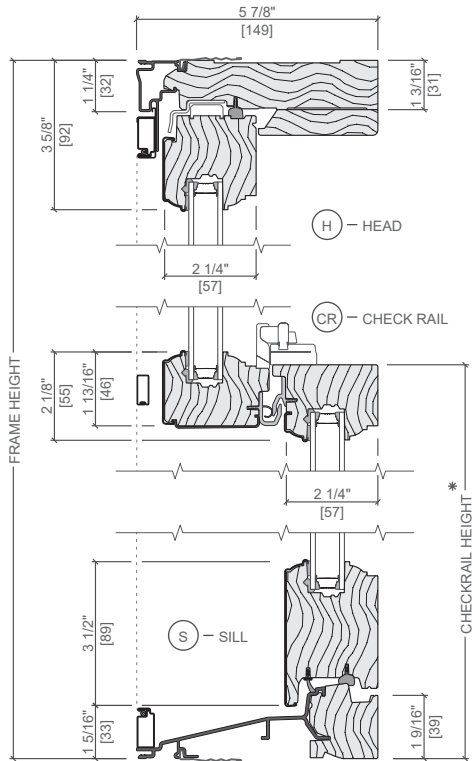
Material J - Window: Basis-of-Design: Pella Traditional Monumental-Hung Window, Aluminum Clad Exterior, Dual-Pane Double Hung; Black

05_335-339 W. 4TH STREET PROPOSED MATERIALS

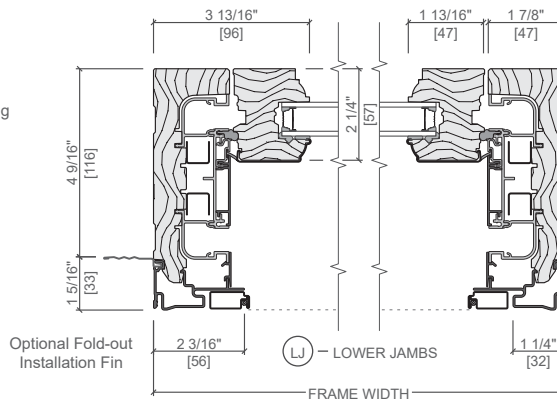
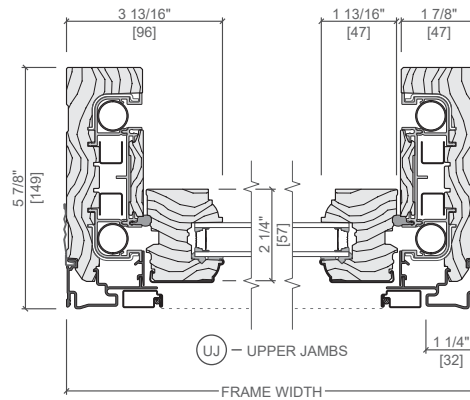
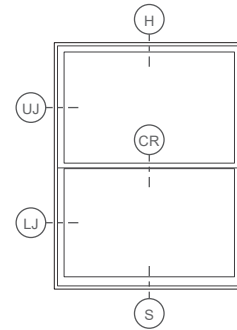


Pella® Reserve™ Traditional Monumental-Hung Window

Unit Sections - Aluminum-Clad Exterior, Dual-Pane Double-Hung



* Dimension required for ordering units with unequal sash.



Material J - Window: Basis-of-Design: Pella Traditional Monumental-Hung Window, Aluminum Clad Exterior, Dual-Pane Double Hung; Black

05_335-339 W. 4TH STREET PROPOSED MATERIALS

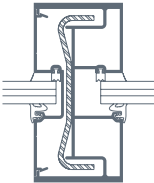
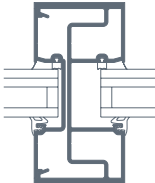
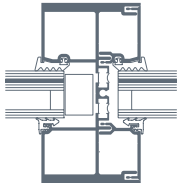
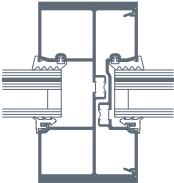
TESTING

IR 500/501/501T/501 Framing Systems are tested to high velocity hurricane zone requirements of the International Building Code and Florida building code, which meet ASTM E1886 and TAS 201 and TAS 203 for impact and cycle pressure differentials. Additionally, all of our systems have been tested to ASTM E331, ASTM E283 and ASTM E330 for air, water and structural performance.

For thermal and acoustical performance, IR 501T/IR 501UT have been tested to AAMA 1503, AAMA 1801 and ASTM E1425.

FABRICATION

All IR 500/501/501T/501UT Framing Systems offer a flush glazed look with either interior structural silicone seal (wet glazed) or optional EPDM gasket (dry glazed) for large missile applications. Screw spline fabrication provides the option to pre-assemble units with controlled shop labor costs and smaller field crews. The framing systems are center glazed from the exterior side and are designed to accept 350/500 IR Entrances.

	IR 500	IR 501	IR 501T/IR 501UT	IR 501T/IR 501UT
Typical Detail				
Sightline	2-1/2" (63.5 mm)	2-1/2" (63.5 mm)	2-3/4" (69.85 mm)	2-3/4" (69.85 mm)
System Depth	5" (127 mm)	5" (127 mm)	5" (127 mm)	5" (127 mm)
Infill Options	9/16", 5/8" (Impact), 1/4" (Non-Impact)	1-5/16" (Impact), 1" (Non-Impact)	1-5/16" (Impact)	1-5/16" (Impact)
Thermal	No	No	IsoLock™ Thermal Breaks	IsoLock™ Thermal Breaks
Hurricane Resistant Tested	Large Missile	Small Missile Large Missile	Small Missile Large Missile	Small Missile Large Missile

#29

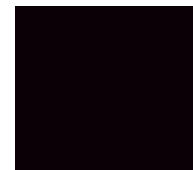
BLACK

L-R
IR 500 Framing
IR 501UT Framing
IR 501 Framing



Material **K** - Storefront: Basis-of-Design: Kawneer IR 501, 2-1/2" Sightline; Black

05_335-339 W. 4TH STREET PROPOSED MATERIALS



Black (02)

Material **L** - Canopy: 10" Tall Canopy Basis-of-Design Finish Material: ATAS Black
(Image Above Left: Canopy Inspiration: Five27, Long island City, NY, 2013; Architect: Fogarty Finger)

06

COST ESTIMATES

06_335-339 W. 4TH STREET

COST ESTIMATES

FULL DEMOLITION

ARCHITECTURAL	\$3,289,400
MECHANICAL, ELECTRICAL, AND PLUMBING	\$1,625,810
SITework	\$649,560
GENERAL CONDITIONS	\$779,070
BOND	\$95,160
DESIGN CONTINGENCY	\$965,850
TOTAL	\$7,404,850

Prepared by a Cost Estimating Office, September 2025

RETAIN EXISTING (RENOVATE INTERIOR AND EXTERIOR) + ADDITION

ARCHITECTURAL	\$2,499,000
MECHANICAL, ELECTRICAL, AND PLUMBING	\$1,130,000
SITework	\$344,000
GENERAL CONDITIONS	\$900,000
BOND	Not Provided
DESIGN CONTINGENCY	\$974,600
TOTAL	\$5,847,600*

Prepared by a Cost Estimating Office, August 2023

*Price Escalation from 2023 - 7.5% per year

$5,847,600 \times .075 = 438,570 + 5,847,600 = 6,286,170$

$6,286,170 \times .075 = 471,463 + 6,286,170 = 6,757,633$

\$6,757,633**

This 2023 cost estimate did not factor in the partial or complete removal of the existing brick facade, nor did it factor in the logistics of constructing an addition behind the existing annex building. Add 12.5% to total

\$7,603,587

