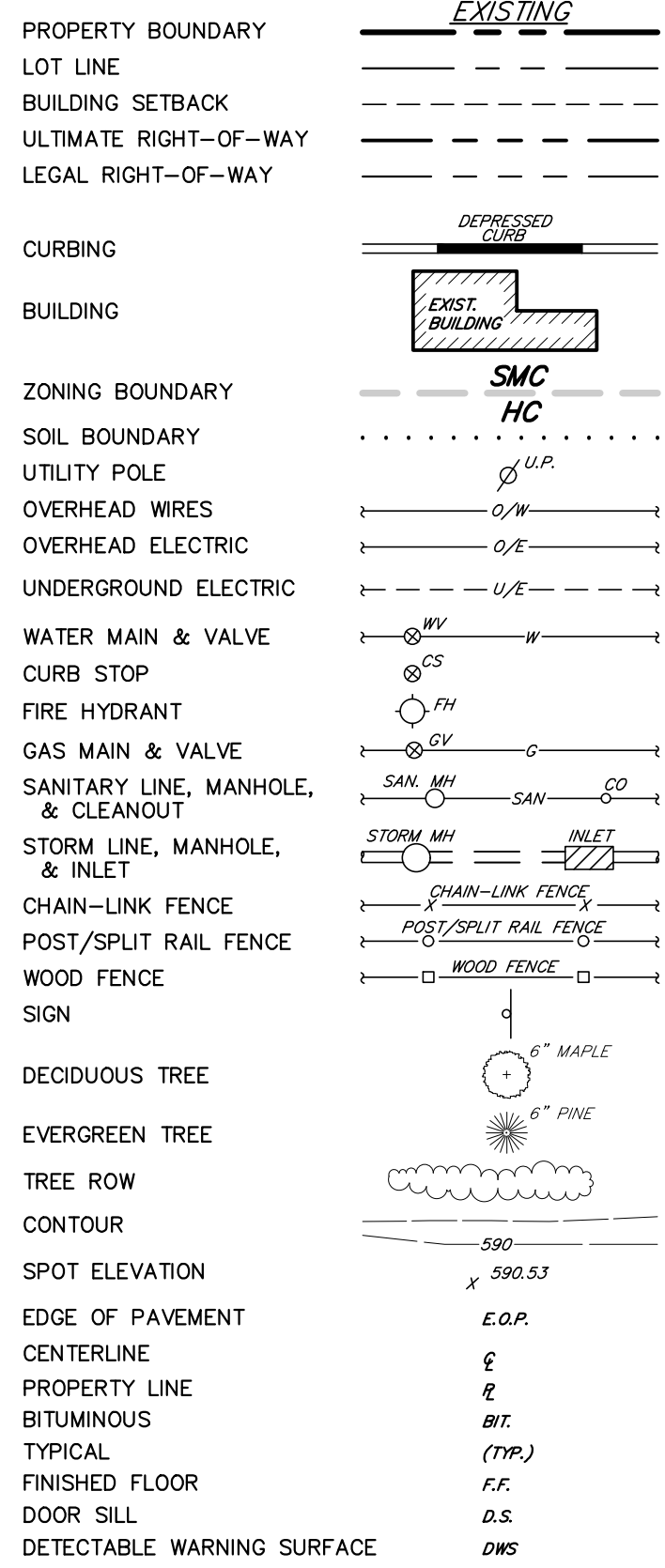


LEGEND



ZONING DATA

DISTRICT: CB; CENTRAL BUSINESS NON-RESIDENTIAL USE MINIMUM LOT AREA: 0 S.F. FRONT: 0 FT. REAR: 0 FT. MINIMUM LOT WIDTH: 0 S.F. MAXIMUM BLDG. COVERAGE: 100% MAXIMUM IMP. COVERAGE: 100% MAXIMUM BLDG. HEIGHT: 150 FT.

ZONING NOTE: ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

SITE DATA

NUMBER OF LOTS: (4) EXISTING OWNER: NEW BETHANY, INC. 333 W 4TH ST BETHLEHEM, PA 18015 PROPERTY ADDRESS: 333 WYANDOTTE ST BETHLEHEM, PA 18015 PIN: P65W2B 8 19 D.B.V. 2019-1, PG. 141395 AREA: 5,702 S.F. OR 0.131 ACRE...

SOIL CLASSIFICATION

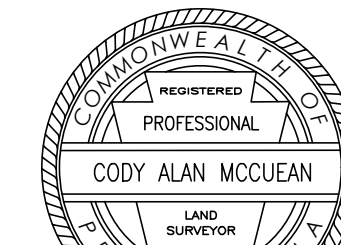
- UoB URBAN LAND, 0 TO 8 PERCENT SLOPES UoD URBAN LAND-DUFFLED COMPLEX, 0 TO 8 PERCENT SLOPES UoC URBAN LAND-DUFFLED COMPLEX, 8 TO 25 PERCENT SLOPES

NOTES:

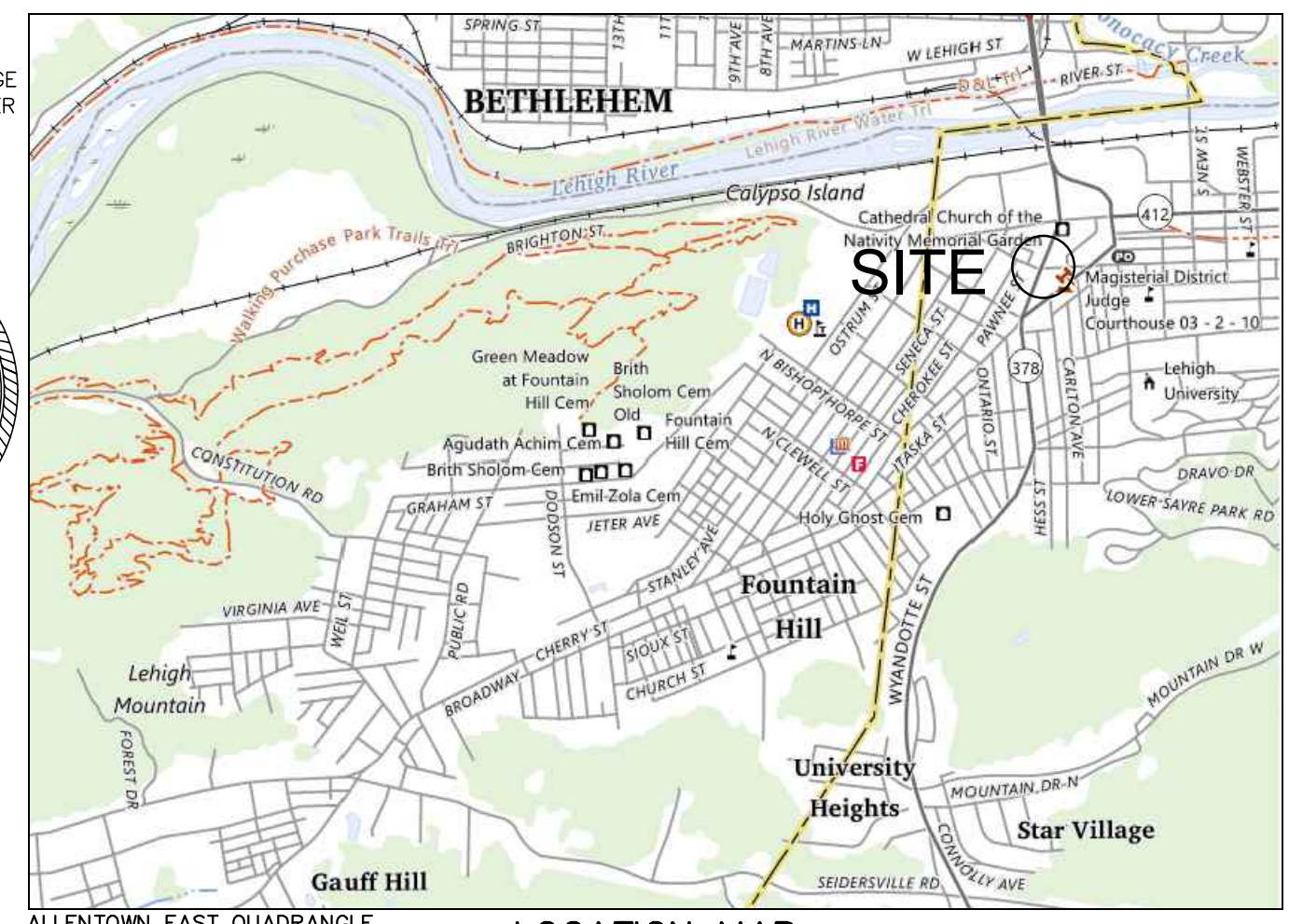
- 1. THIS DRAWING HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE SURVEYOR HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO ANY FUTURE CONSTRUCTION. 2. DATE OF SURVEY: OCTOBER, 2025...

PROFESSIONAL SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE SURVEY SHOWN ON THIS PLAN PERFORMED IN OCTOBER OF 2025 IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA" AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS.



CODY A. MCCUEAN, P.L.S. LICENSE NO. SU075794 BARRY ISETT & ASSOCIATES 10/31/2025



LOCATION MAP SCALE: 1"=2000'

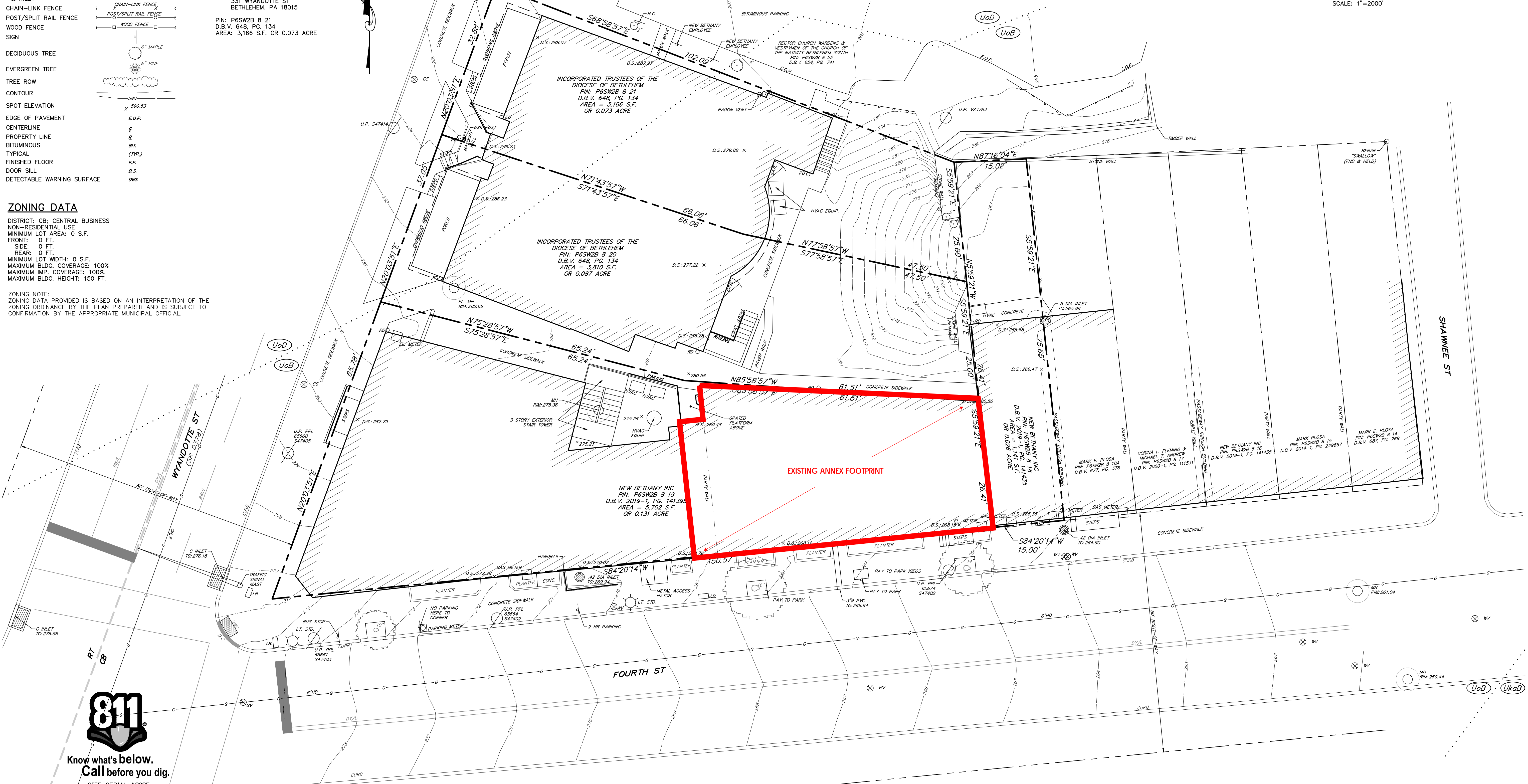
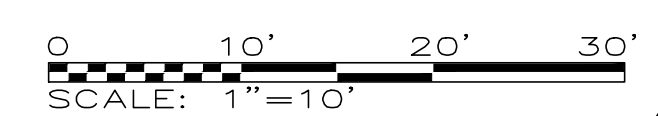


Table with columns: BY (CAM), DATE (11/19/25), REVISIONS (1 ADDED GAS MAIN)

Barry Isett & Associates logo and contact information: 272.200.2050, barryisett.com, 525 Main Street, Suite 200, Stroudsburg, PA 18380

TOPOGRAPHIC SURVEY PLAN RENOVATIONS - NEW BETHANY MINISTRIES SPILLMAN FARMER ARCHITECTS CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PA

Table with columns: DATE (10/29/2025), SCALE (1"=10'), DRAWN (JUM), JOB (1079825.000), SHEET (SU-1), DSGN (CAM), CHK (CAM), APPRD (CDC), P MGR (CDC), COPYRIGHT (2025)



DRAWING HISTORY

NO.	ISSUE DATE	DESCRIPTION

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04.10.2026

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NEW BETHANY

333 WYANDOTTE STREET, BETHLEHEM,
PA 18015

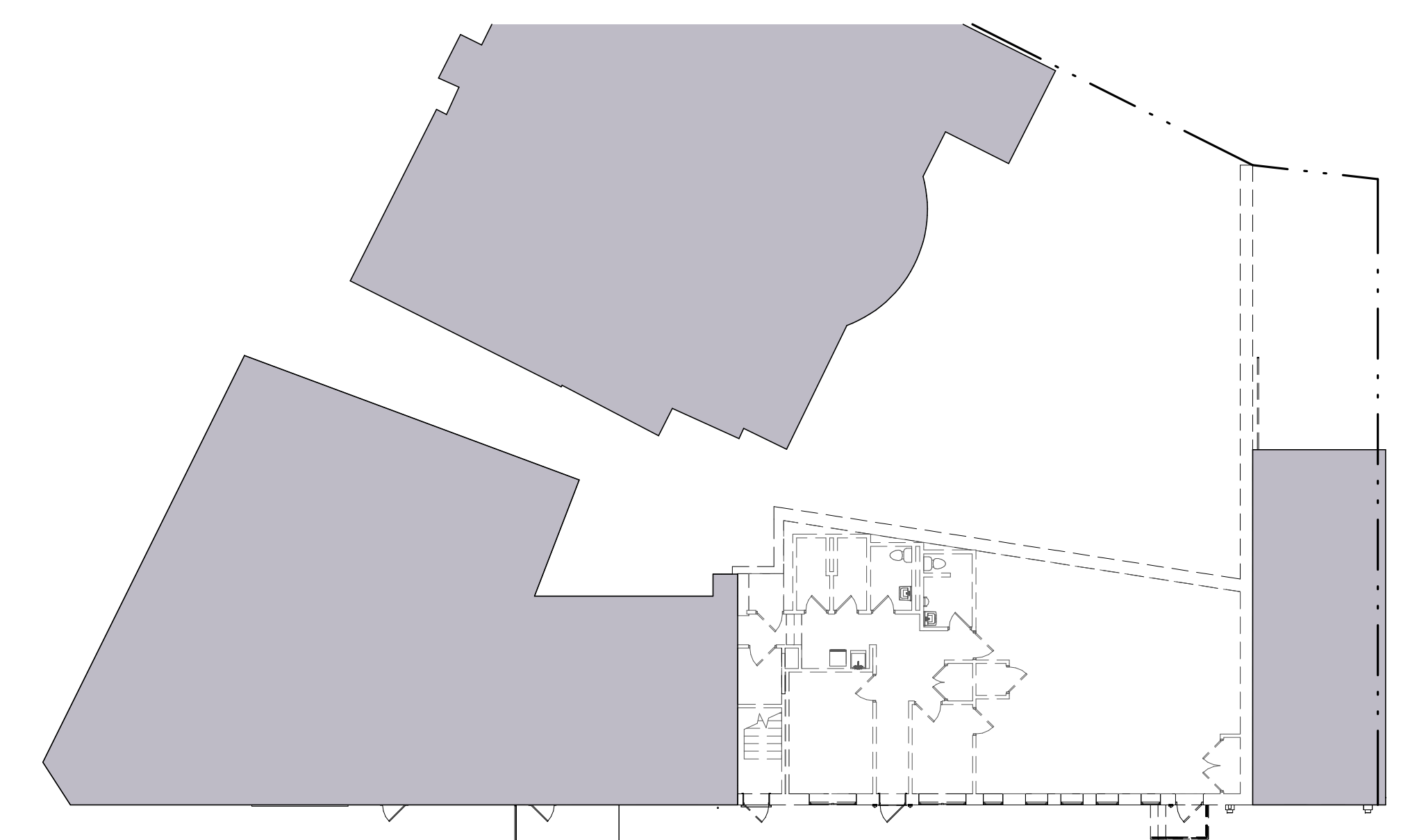
**ANNEX REBUILD AND
ADDITION**
335-339 WEST FOURTH STREET
BETHLEHEM, PA 18015

**ANNEX FIRST FLOOR -
DEMOLITION PLAN**

FULL SHEET SIZE: 30" x 42"
PROJECT NUMBER: 8274.25

SHEET NUMBER

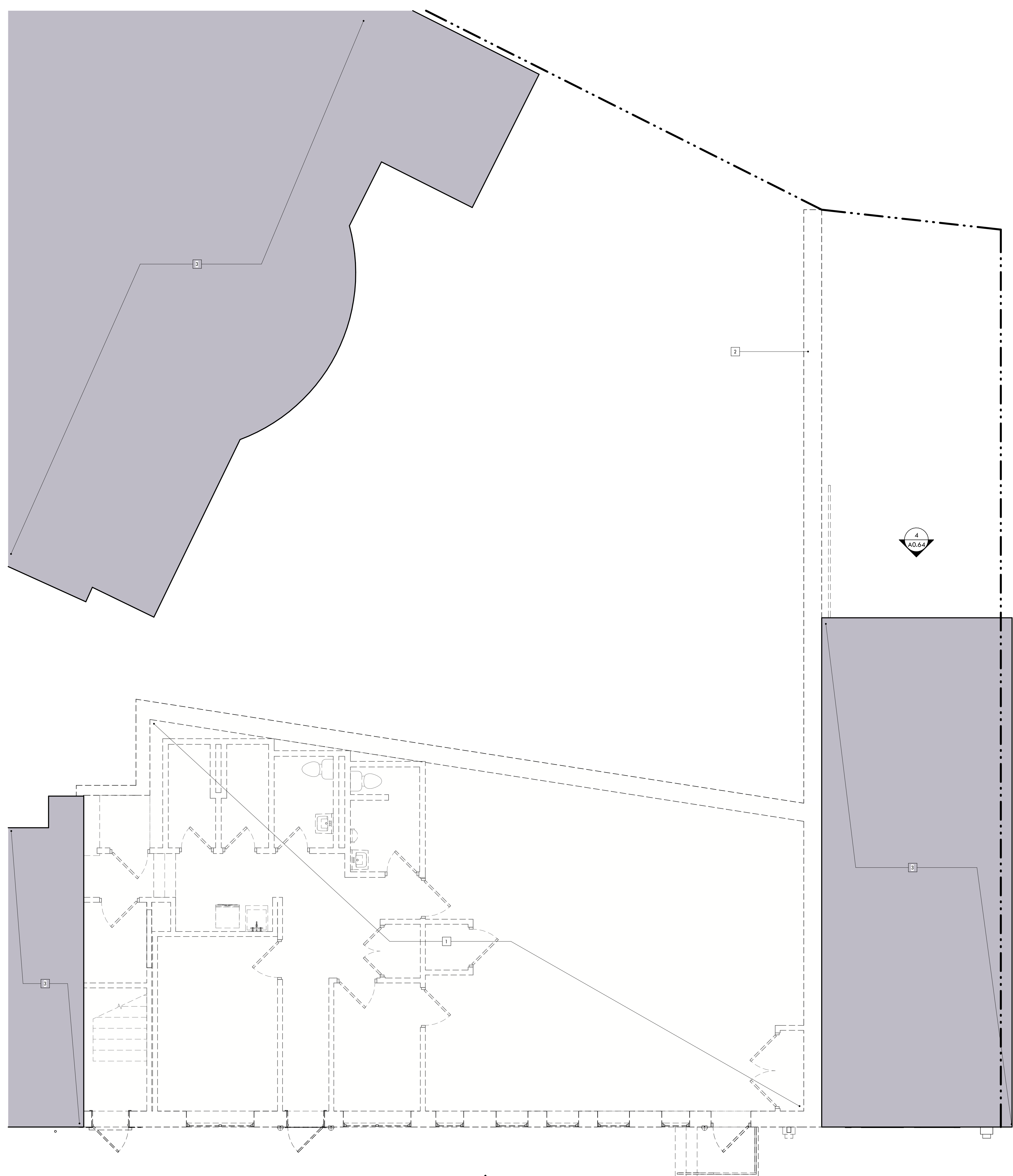
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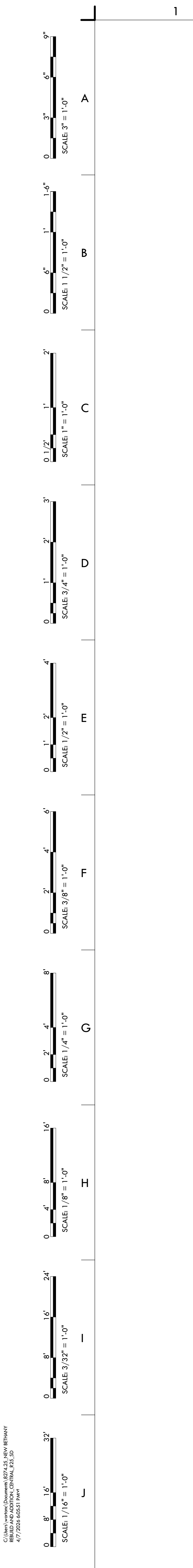
2 ANNEX FIRST FLOOR - DEMOLITION PLAN KEY MAP
SCALE: 1/16" = 1'-0"

DEMO NOTES	
NOTE NUMBER	NOTE REMARK
1	DEMOLISH EXISTING ANNEX BUILDING. SEE ENGINEERING DOCUMENTS FOR ADDITIONAL NOTES.
2	DEMOLISH REMNANTS OF EXISTING RETAINING WALL. SEE ENGINEERING DOCUMENTS FOR ADDITIONAL NOTES.
3	EXISTING BUILDING TO REMAIN. SEE ENGINEERING DOCUMENTS FOR ADDITIONAL NOTES.

MORE DETAILED DEMOLITION NOTES WILL BE PROVIDED IN LATER STAGES OF THE PROJECT



1 ANNEX FIRST FLOOR - DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

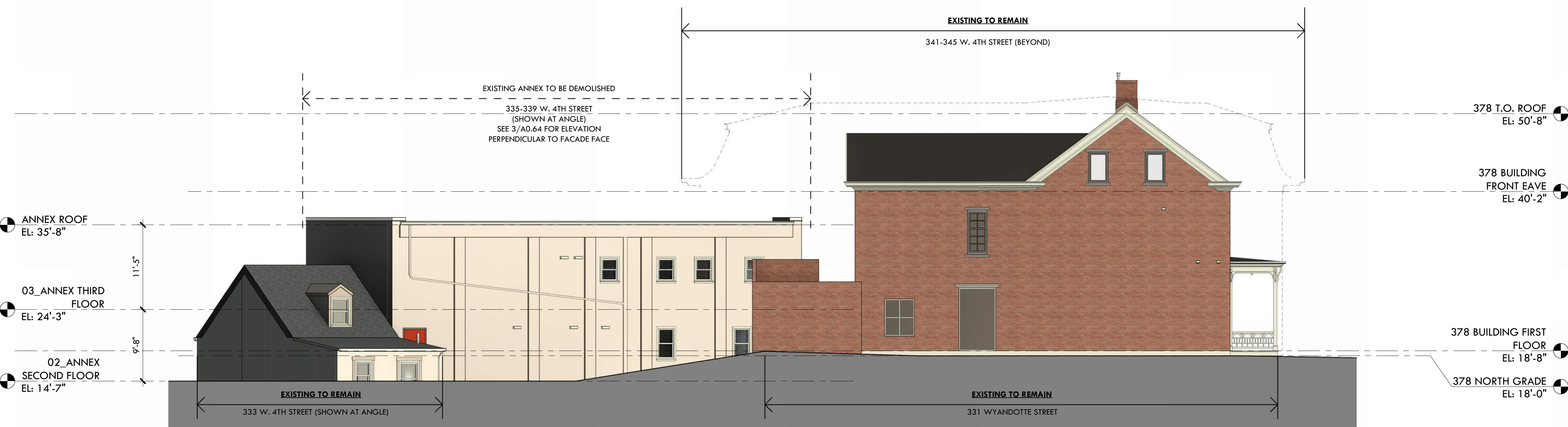


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477.7028.66551 Rev. 0



1 SOUTH ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION - EXISTING (NOT AT ANGLE)

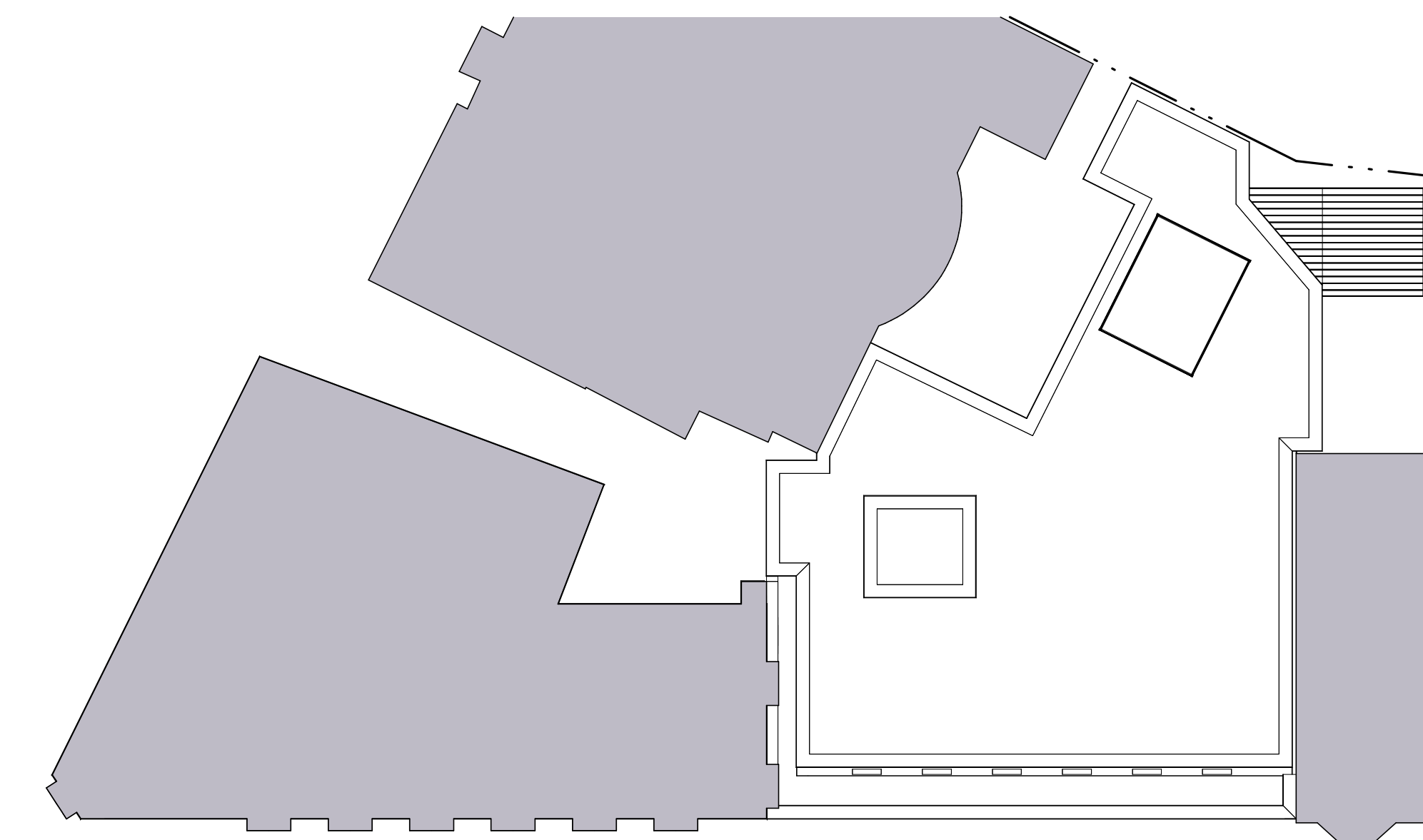
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION - EXISTING ROW HOME (333 W. 4TH) - FOR REF. ONLY

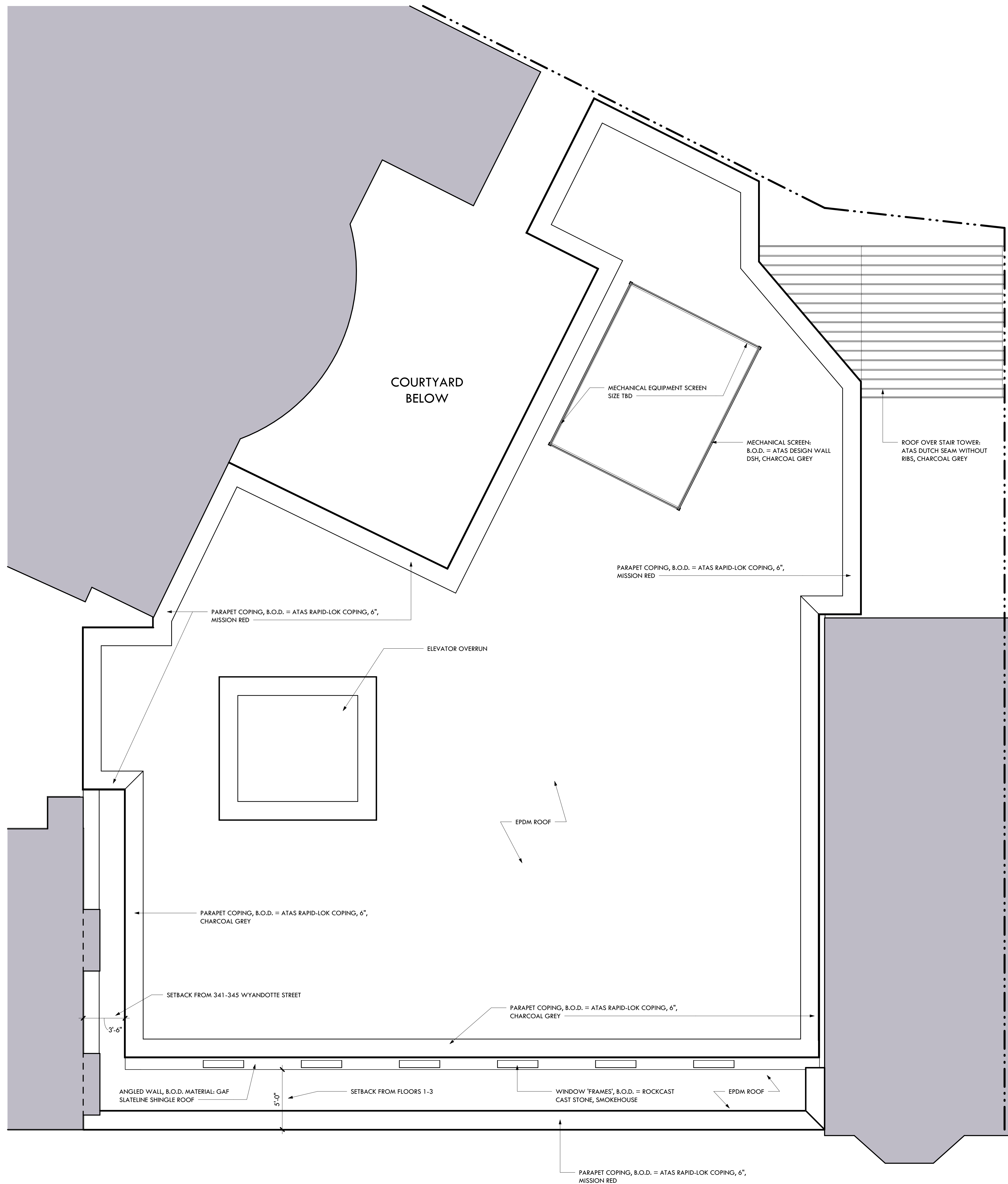
SCALE: 1/8" = 1'-0"

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2 ANNEX ROOF - PROPOSED PLAN KEY MAP

SCALE: 1/16" = 1'-0"



1 ANNEX ROOF - PROPOSED PLAN

SCALE: 1/4" = 1'-0"

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PA 18015

**ANNEX REBUILD AND
ADDITION**
335-339 WEST FOURTH STREET
BETHLEHEM, PA 18015

**ANNEX ROOF -
PROPOSED PLAN**

FULL SHEET SIZE: 30" x 42"
PROJECT NUMBER: 8274.25

SHEET NUMBER

A1.30

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PA 18015

**ANNEX REBUILD AND
ADDITION**
335-339 WEST FOURTH STREET
BETHLEHEM, PA 18015

**PROPOSED EXTERIOR
RENDERINGS**

FULL SHEET SIZE: 30" x 42"
PROJECT NUMBER
8274.25

SHEET NUMBER

A2.02



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



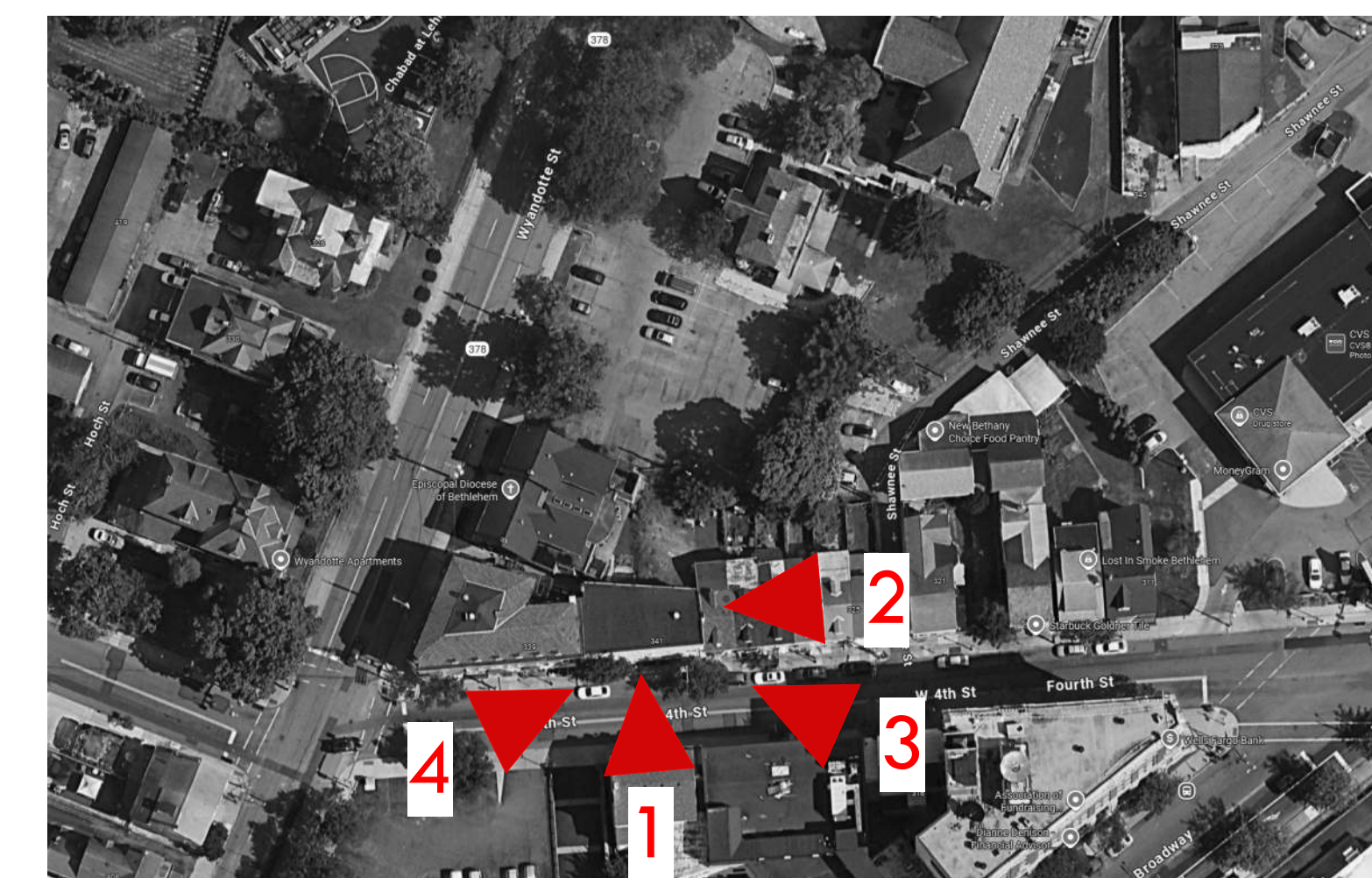
2 EAST ELEVATION
SCALE: 1/16" = 1'-0"



3 LOOKING WEST ON WEST FOURTH STREET
SCALE: 1/16" = 1'-0"



4 LOOKING EAST ON WEST FOURTH STREET
SCALE: 1/16" = 1'-0"



KEY PLAN
SCALE: 1" = 50'-0"

A SCALE: 3" = 1'-0"
 B SCALE: 1 1/2" = 1'-0"
 C SCALE: 1" = 1'-0"
 D SCALE: 3/4" = 1'-0"
 E SCALE: 1/2" = 1'-0"
 F SCALE: 3/8" = 1'-0"
 G SCALE: 1/4" = 1'-0"
 H SCALE: 1/8" = 1'-0"
 I SCALE: 3/32" = 1'-0"
 J SCALE: 1/16" = 1'-0"



1 LOOKING WEST ON WEST FOURTH STREET
 SCALE: 1/16" = 1'-0"



2 LOOKING WEST ON SHAWNEE STREET
 SCALE: 1/16" = 1'-0"



3 LOOKING SOUTH ON WYANDOTTE STREET
 SCALE: 1/16" = 1'-0"



KEY PLAN
 SCALE: 1" = 50'-0"

Spillman Farmer Architects

1720 Spillman Drive, Suite 200 | Bethlehem, PA 18015
 Phone: 610.865.2621 | Website: www.spillmanfarmer.com

SITE / CIVIL ENGINEER
 BARRY ISETT & ASSOCIATES, INC., 5420
 CRACKERSPORT ROAD, ALLENTOWN, PA 18104

LANDSCAPE ARCHITECT
 N/A

STRUCTURAL ENGINEER
 BARRY ISETT & ASSOCIATES, INC., 5420
 CRACKERSPORT ROAD, ALLENTOWN, PA 18104

MECHANICAL ELECTRICAL PLUMBING
 BARRY ISETT & ASSOCIATES, INC., 5420
 CRACKERSPORT ROAD, ALLENTOWN, PA 18104

FIRE PROTECTION ENGINEER
 BARRY ISETT & ASSOCIATES, INC., 5420
 CRACKERSPORT ROAD, ALLENTOWN, PA 18104

TELECOM ENGINEER
 N/A

AUDIO VISUAL ENGINEER
 N/A

SECURITY ENGINEER
 N/A

ACOUSTICAL ENGINEER
 N/A

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ANNEX REBUILD AND
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 BETHLEHEM, PA 18015

PROPOSED EXTERIOR PHOTOMONTAGES

FULL SHEET SIZE: 30" x 42"
 PROJECT NUMBER
 827.4.25

SHEET NUMBER

A2.03