

PROPOSED CAFE ALTERATION & RENOVATION PROJECT

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Architecture Design Interiors



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IBC 2021, PA CODE CHECK

PROJECT DESCRIPTION:

RENOVATION AND ALTERATION OF EXISTING RESTAURANT TO CAFE. PROJECT CONSISTS OF BEARING AND NON-BEARING PARTITIONS, ELECTRICAL, PLUMBING, HVAC, ENVELOPE OF BUILDING REMAINS AS IS.

1ST FL. AREA: ±1,359 SF
EXISTING USE : B
PROPOSED USE : B
CONSTRUCTION TYPE: 3B
OCCUPANT LOAD (1ST FL.): 43
SEATING: 40

DESIGN CODES

CODE DESCRIPTION	EDITION
INTERNATIONAL BUILDING CODE (IBC)	2021
INTERNATIONAL EXISTING BUILDING CODE	2021
INTERNATIONAL MECHANICAL CODE	2021
INTERNATIONAL PLUMBING CODE	2021
INTERNATIONAL FUEL GAS CODE	2021
NATIONAL ELECTRICAL CODE	2020
INTERNATIONAL ENERGY CONSERVATION CODE	2021
ICC/ANSI 117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES	2017

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
⊙	AT
C	CENTER LINE
▬	BUILDING LINE
C/C	CENTER TO CENTER
C.O.	CLEAN OUT
CW	COLD WATER
ELEV.	ELEVATION
F.S.	FAR SIDE
FW	FILTERED WATER
FD	FLOOR DRAIN
N.S.	NEAR SIDE
FS	FLOOR SINK
TP	TRAP PRIMER
WW	WARM WATER
WC	WATER CLOSET
HWH	WATER HEATER
SF	SQUARE FEET
FTG.	FOOTING
GA	GAUGE
G.C.	GENERAL CONTRACTOR
GWB	GYPSUM WALL BOARD
HS	HAND SINK
HW	HOT WATER
HD	HUB DRAIN
LAV.	LAVATORY
MS	MOP SINK
PLWD	PLYWOOD
O.C.	ON CENTER
O/O	OUT TO OUT
SQ.	SQUARE
T.O.I.	TOP OF ISLAND
WF	WATER FOUNTAIN
WP	WEATHER PROOF
V	VENT
VTR	VENT THROUGH ROOF
U.O.N.	UNLESS OTHERWISE NOTED



SUBJECT TENANT SPACE; AREA OF WORK

GENERAL NOTES

- 1.1 ALL RIGHTS RESERVED DRAWINGS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF THE ARCHITECT COMMON LAW COPYRIGHT PROVISIONS. THEY ARE NOT TO BE REUSED EXCEPT AND ARE PROTECTED UNDER AGREEMENT IN WRITING AND WITH THE AGREED COMPENSATION TO THE ARCHITECT. IF REUSED WITHOUT PERMISSION, THE ARCHITECT SHALL BE INDEMNIFIED AND HELD HARMLESS FROM ALL LIABILITY, LEGAL EXPOSURE, CLAIMS, DAMAGES, LOSSES AND EXPENSES.
- 1.2 DRAWINGS SHALL NOT BE USED FOR ISSUANCE OF A BUILDING PERMIT UNLESS SIGNED AND SEALED BY THE ARCHITECT. DRAWINGS SHALL NOT BE USED FOR MULTIPLE OR PROTOTYPE DEVELOPMENT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT BOTH SIGNED AND SEALED.
- 1.3 ARCHITECTS ADMINISTRATION OF THE CONSTRUCTION WORK BY MUTUAL CONSENT, IS NOT PART OF THIS AGREEMENT. THE OWNER AND/OR GENERAL CONTRACTOR SHALL APPOINT A PERSON TO BE IN CHARGE OF THE WORK PER "NJUCC 5.23-2.21 CONSTRUCTION CONTROL" EXECUTION.
- 1.4 THE ARCHITECT SHALL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THESE DRAWINGS OR FROM WRITTEN RECOMMENDATIONS. CHANGES TO THE PLANS BY THE OWNER AND/OR CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES.
- 1.5 THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING, BUT NOT LIMITED TO, ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES; OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK; OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK; OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 1.6 EXAMINATION OF SITE, DRAWINGS, AND SPECIFICATIONS. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE, DRAWINGS, AND SPECIFICATIONS, FULLY ACQUAINT AND FAMILIARIZE HIMSELF WITH THE CONDITIONS AS THEY EXIST AND MAKE SUCH INVESTIGATIONS AS HE MAY SEE FIT SO THAT HE SHALL FULLY UNDERSTAND THE FACILITIES, DIFFICULTIES, AND RESTRICTIONS PERTAINING TO THE WORK. 1.7 PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL REQUIRED PERMITS, INSPECTIONS, ETC.
- 1.8 ALL WORK, MATERIALS, AND EQUIPMENT SHALL MEET THE LATEST REQUIREMENTS OF ALL APPLICABLE STATE & LOCAL BUILDING CODES, REGULATIONS, THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF UNDERWRITERS. WHERE APPLICABLE, COMPLY WITH ALL REQUIREMENTS OF THE N.J.U.C.C. BARRIER FREE SUBCODE AND/OR THE AMERICANS WITH DISABILITIES ACT (ADA).
- 1.9 EXCEPT WHERE SPECIFIED REQUIREMENTS ARE MORE STRINGENT, INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND THE STANDARDS OF RECOGNIZED AGENCIES AND ASSOCIATIONS. PROVIDE ALL ANCHORS, FASTENERS, AND ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. ALLOW FOR THERMAL EXPANSION/CONTRACTION AND BUILDING MOVEMENT. SEPARATE INCOMPATIBLE MATERIALS WITH SUITABLE MATERIALS OR SPACING. PREVENT CATHODIC CORROSION. PROTECT ALUMINUM SURFACES FROM CONTACT WITH MASONRY OR OTHER METALS. PROVIDE CONTROL JOINTS AT MATERIALS AND ISOLATION JOINTS BETWEEN MATERIALS/STRUCTURE AS INDICATED AND AS REQUIRED BY MANUFACTURER OR RECOGNIZED INDUSTRY STANDARDS.
- 1.10 INSTALL PRODUCTS UNDER APPROPRIATE ENVIRONMENTAL CONDITIONS (AIR TEMPERATURE, SURFACE TEMPERATURE, RELATIVE HUMIDITY, ETC.) TO INSURE QUALITY AND DURABILITY. MAINTAIN PROPER PROTECTION DURING DRYING/CURING.
- 1.11 THE CONTRACTOR SHALL, WITHOUT DELAY AND PRIOR TO FABRICATION OR INSTALLATION, BRING TO THE ATTENTION OF THE ARCHITECT, ANY DISCREPANCIES BETWEEN THE MANUFACTURER'S REQUIRED SPECIFICATIONS OR RECOMMENDATIONS, APPLICABLE CODE PROVISIONS, AND THE CONTRACT DOCUMENTS. UNAUTHORIZED CHANGES TO THE PLANS BY THE OWNER AND CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES.
- 1.12 SUBSTITUTIONS: SUBMISSION OF A SUBSTITUTION REQUEST BY THE CONTRACTOR (WHERE PERMITTED BY THE CONTRACT DOCUMENTS) SHALL CONSTITUTE A REPRESENTATION BY THE CONTRACTOR THAT HE HAS INVESTIGATED THE PROPOSED PRODUCT OR CONDITION AND DETERMINED THAT IT IS EQUAL TO OR BETTER THAN THE SPECIFIED PRODUCT OR CONDITION AND DETERMINED THAT IT IS EQUAL TO OR BETTER THAN THE SPECIFIED PRODUCT OR CONDITION (INCLUDING WARRANTY COVERAGE) AND THAT HE WILL COORDINATE THE INSTALLATION AND MAKE OTHER CHANGES (INCLUDING MODIFICATION AND COORDINATION OF OTHER WORK AFFECTED BY THE CHANGE) WHICH MAY BE REQUIRED FOR THEIR WORK TO BE COMPLETE IN ALL ASPECTS.
- 1.13 CUTTING & PATCHING: INCLUDE ALL CUTTING AND PATCHING FOR PENETRATIONS THROUGH FLOORS, WALLS CEILINGS AND ROOFS. DO NOT CUT OR NOTCH ANY STRUCTURAL MEMBER TO REDUCE ITS LOAD CARRYING CAPACITY.
- 1.14 UNFORESEEN CONDITIONS: SHOULD UNFORESEEN CONDITIONS BE ENCOUNTERED THAT AFFECT DESIGN OR FUNCTION OF THE PROJECT, CONTRACTOR SHALL INVESTIGATE FULLY AND SUBMIT AN ACCURATE, DETAILED REPORT TO THE ARCHITECT WITHOUT DELAY. WHILE AWAITING A RESPONSE, CONTRACTOR SHALL RESCHEDULE OPERATIONS AS REQUIRED TO AVOID DELAY OF OVERALL PROJECT.
- 1.15 PROVIDE TEMPORARY FACILITIES, SERVICES UTILITIES, AND PROTECTION AS REQUIRED TO SAFELY EXECUTE ALL WORK, PROTECT ADJACENT CONSTRUCTION, AND INHABITANTS. COMPLY WITH ALL APPLICABLE REQUIREMENTS OF GOVERNING AUTHORITIES INCLUDING, BUT NOT LIMITED TO, PUBLIC UTILITIES. PROVIDE 24 HOUR NOTIFICATION OF ANY DISCONTINUITY IN UTILITY SERVICES WITH THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND LEGALLY DISPOSE OF ALL MATERIAL FROM THE JOB SITE.
- 1.16 THERE ARE NO ASBESTOS CONTAMINATED MATERIAL REMOVAL IN CONTRACT.

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS INCLUDING ALL COVERED/CONCEALED AREAS AND SHALL HAVE VISITED AND INSPECTED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK. STARTING OF DEMOLITION AND REMOVAL OPERATIONS WILL BE CONSIDERED AS EVIDENCE THAT THE CONTRACTOR HAS COMPLIED WITH THESE REQUIREMENTS AND LATER CLAIMS FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN WILL NOT BE RECOGNIZED.
2. TEMPORARY PROTECTION: PARTICULAR ATTENTION SHALL BE GIVEN TO THE PROTECTION OF EXISTING STRUCTURE AND FINISHES SO AS TO PREVENT ANY DAMAGE OF EXISTING FINISHES NOT DESIGNATED FOR DEMOLITION. PROVIDE ALL NECESSARY TEMPORARY CONSTRUCTION AND DUSTPROOF PROTECTION. PROTECTION SHALL BE IN COMPLIANCE WITH BUILDING STANDARDS. TYPE AND LOCATION OF PROTECTION SHALL BE REVIEWED WITH OWNERS CONSTRUCTION REPRESENTATIVE PRIOR TO COMMENCING WORK.
3. CONTRACTORS TO COMPLETE ALL DEMOLITION AS NOTED IN PLANS. CONTRACTORS SHALL VERIFY THE EXTENT & LOCATION OF THE SELECTIVE DEMOLITION AS SHOWN & AS REQUIRED AND CAREFULLY IDENTIFY THE LIMITS OF DEMOLITION TO ENABLE WORKMAN TO ALSO IDENTIFY ITEMS TO BE REMOVED & ITEMS TO BE LEFT IN PLACE INTACT.
4. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES AND PERFORM ALL OPERATIONS REQUIRED FOR COMPLETE INTERIOR DEMOLITION AND RELATED WORK AS DESCRIBED AND SPECIFIED HEREIN, AND AS MAY BE REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK IN ALL RESPECTS.
5. DEMOLITION WORK TO BE PHASED TO ALLOW PROPER EGRESS IN CASE OF FIRE OR HAZARD.
6. GENERAL CONTRACTOR IS TO COORDINATE ALL DEMOLITION WITH ALL TRADES.
7. SUBCONTRACTORS SHALL INSPECT ALL DEMOLITION AREAS PRIOR TO BEGINNING WORK.
8. COORDINATE ALL NEW, RELOCATED, AND DEMOLISHED MECHANICAL ELECTRICAL PLUMBING & FIRE PROTECTION ITEMS WITH DESIGN DRAWINGS.
9. PROVIDE NEW OPENINGS IN EXISTING PARTITIONS AS REQUIRED TO ACCOMMODATE NEW DOOR FRAMES.
10. REMOVE EXISTING PARTITIONS WHERE INDICATED ON PLAN. PATCH TO MATCH EXISTING AT ALL ADJACENT AREAS DISTURBED BY DEMOLITION WHERE A NEW FINISH IS NOT BEING APPLIED.
11. REMOVE ALL EXISTING FLOOR, BASE AND WALL FINISHES WHERE NEW FINISHES ARE SCHEDULED. PREPARE ALL SURFACES AS REQUIRED (PER MANUFACTURER'S SPECIFICATIONS) TO RECEIVE NEW FINISHES. COORDINATE WITH COLOR & MATERIAL PLANS & SPECIFICATIONS.
12. REMOVE ALL EXISTING ELECTRICAL SWITCHES, OUTLETS, JUNCTION BOXES AND TELE/DATA DEVICES ETC., WHICH ARE NOT SHOWN ON THE NEW ELECTRICAL DRAWINGS AND/OR POWER, VOICE & DATA DRAWINGS. REMOVED LINES ARE TO BE BROUGHT BACK TO PANELS. PATCH ALL WALLS w/ GYP. BD. BLOW OUT PATCHES. BLANK ELECTRICAL PLATES WILL NOT BE ACCEPTABLE.
13. REMOVE ALL EMBEDDED ITEMS SUCH AS TOGGLE BOLTS, EXPANSION BOLTS, SCREWS, NAILS, PLASTIC & METAL INSERTS AND ANY OTHER ITEMS PREVENTING THE APPLICATION OF NEW FINISHES IN AN ACCEPTABLE MANNER. PATCH AND REPAIR EXISTING DRYWALL CONSTRUCTION TO MATCH EXISTING.
14. MAINTAIN ALL UTILITIES IN SERVICE DURING DEMOLITION UNTIL SUCH TIME AS TEMPORARY SHUTOFFS ARE REQUIRED. NOTIFY THE OWNER'S REPRESENTATIVE 72 HOURS IN ADVANCE OF ANY SHUT-OFFS. UTILITY SERVICE SHALL BE RESTORED TO THE BUILDING AS SOON AS SAFELY POSSIBLE.
15. REMOVE ALL EXISTING DOORS, FRAMES AND ALL MSC. FRAMING SUPPORTS NOT SCHEDULED TO REMAIN, TYPICAL.
16. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION DEBRIS IN ACCORDANCE WITH ALL FEDERAL STATE AND LOCAL ORDINANCES. THE SITE SHALL BE SWEEPED AND LEFT CLEAN OF ALL DEBRIS AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND TRANSPORTATION ACTIVITIES OF DUMPSTERS AND CONTAINERS WITH THE OWNER'S REPRESENTATIVE.
17. ALL PENETRATIONS (PLUMBING, ELECTRICAL) THROUGH WALLS, & FLOORS DUE TO BUT NOT LIMITED TO DEMOLITION SHALL BE SEALED, FIRE SAFED OFF, CAPPED, AND LEVELED SMOOTH WITH ADJACENT SURFACES AND MATERIALS.
18. DURING AND AFTER THE DEMOLITION PHASE, G.C. SHALL PROTECT ALL AREAS OF THE EXISTING STRUCTURE & OTHER RELATED HAZARDS.
19. EXISTING ELECTRICAL PANELS TO BE REMOVED UNLESS OTHERWISE NOTED, COORDINATE WITH ELECTRICAL DRAWINGS.
20. REMOVE EXISTING PLUMBING FIXTURES IN AREA OF DEMOLITION (UNLESS OTHERWISE NOTED) & EXPOSED PIPING, CUT OFF AND CAP AT RISER. ALL CAPPING TO BE CONCEALED BEHIND WALLS OR BELOW FLOOR SLAB, COORDINATE WITH CONSULTING ENGINEER DRAWINGS.
21. IF, DURING THE COURSE OF DEMOLITION, CONDITIONS ARE ENCOUNTERED CONTRARY TO THOSE INDICATED ON DRAWINGS, SAID CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR REVIEW AND POSSIBLE CORRECTIVE ACTION.
22. AFTER DEMOLITION IS COMPLETED, CONTRACTOR SHALL REPAIR AND PATCH ALL EXISTING WALLS AND FLOORS TO A CONDITION ACCEPTABLE TO RECEIVE NEW CONSTRUCTION AND FINISHES AS REQUIRED BY THE CONSTRUCTION DRAWINGS.
23. ALL WALL OUTLETS, SWITCHES & THERMOSTATS AT DEMOLISHED PARTITIONS SHALL BE REMOVED COMPLETELY - INCLUDING WIRING BACK TO PANEL.
24. PATCH AND PREP ALL WALLS AND FLOORS THROUGHOUT ENTIRE AFFECTED SPACE AS REQUIRED, TO BE LEVEL TO RECEIVE NEW FINISHES.
25. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING & PROTECTING ALL WORK (EXISTING & NEW) DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION & OFF ALIGNMENTS, ACCORDING TO CODES & STANDARDS OF GOOD PRACTICE.
26. AFTER DEMOLITION IS COMPLETED, CONTRACTOR SHALL REPAIR AND PATCH ALL EXISTING WALLS AND FLOORS TO A CONDITION ACCEPTABLE TO RECEIVE NEW CONSTRUCTION AND FINISHES AS REQUIRED BY THE CONSTRUCTION DRAWINGS.
27. REMOVE ALL EXISTING PARTITIONS, DOOR & FRAMES. COORDINATE EXTENT OF SELECTIVE DEMOLITION W/ CONSTRUCTION PLAN (TYP)
28. REMOVE ALL EXISTING FLOOR, BASE & WALL FINISHES WHERE NEW FINISHES ARE SPECIFIED. COORDINATE W/ COLOR & MATERIAL PLANS & SPECIFICATIONS.
29. COORDINATE WITH REFLECTED CEILING PLAN FOR EXTENT OF DEMOLITION.
30. CONTRACTOR SHALL REMOVE EXISTING CEILING SYSTEMS AS REQ'D TO COMPLETE ALL ABOVE CEILING WORK. COORDINATE ALL MEP DEMOLITION WORK W/ CONSULTING ENGINEER DRAWINGS.
31. REMOVE/SAW CUT PORTION OF EXTERIOR WALLS TO INSTALL NEW WINDOWS AND DOORS. COORDINATE WITH NEW PLANS
32. SEE SITE PLAN FOR ADDITIONAL SITE WORK AND DEMOLITION

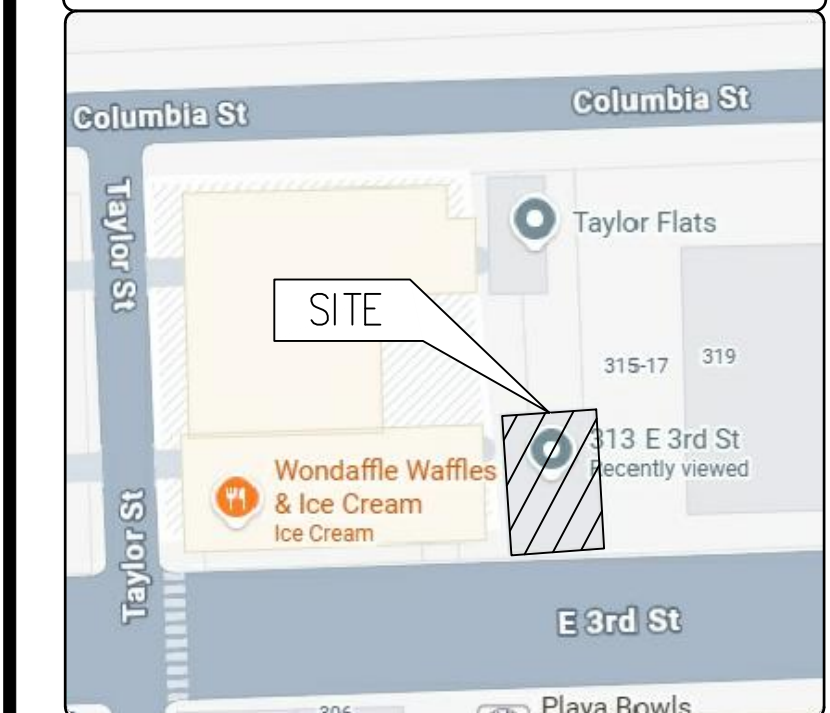
INDEX OF DRAWINGS

DATE	DESCRIPTION
04/20/2026	ARCHITECTURAL
DWG #	TITLE
T-100	COVER PAGE
A-001	HANDICAPPED DETAILS
D-100	BASEMENT FLOOR EXISTING CONDITIONS AND DEMOLITION PLAN
D-101	FIRST FLOOR EXISTING CONDITIONS AND DEMOLITION PLAN
A-100	PROPOSED 1ST FLOOR PLAN & FURNITURE PLAN & EQUIPMENT SCHEDULE
A-110	PROPOSED FACADE DESIGN
A-120	PROPOSED 1ST FLOOR REFLECTED CEILING PLAN & FINISH PLAN
A-160	DOOR SCHEDULES & BULKHEAD DETAIL
	MECHANICAL
M-100	MECHANICAL COVER PAGE
M-110	HVAC PLANS & SCHEDULES
	ELECTRICAL
E-100	LIGHTING & POWER PLANS
	PLUMBING
P-100	WATER SUPPLY & WASTE WATER PLAN
P-110	WATER SUPPLY, WASTE WATER RISER & GAS RISER DIAGRAMS

SYMBOLS

⊙	WINDOW TYPE SYMBOL
⊙	DOOR TYPE SYMBOL
⊙	SIGN TYPE
⊙	PARTITION TYPE SYMBOL
⊙	ELEVATION SYMBOL
⊙	DETAIL DESIGNATION
⊙	DETAIL NUMBER
⊙	SHEET NUMBER
⊙	SECTION NUMBER SECTION DESIGNATION
⊙	SHEET NUMBER
⊙	ELEV. NUMBER ELEVATION DESIGNATION
⊙	SHEET NUMBER
201 CLASSROOM 456 SF	ROOM NUMBER, NAME & AREA
⊙	REVISION DESIGNATION
+ [461.0]	NEW OR REQUIRED POINT ELEVATION
+ 461.0	EXISTING POINT ELEVATION (PLAN)
- 320	NEW CONTOURS
- 320	EXISTING CONTOURS
⊙	EXISTING DOOR TO REMAIN
⊙	PROPOSED DOOR
⊙	EXISTING WALL TO REMAIN
⊙	PROPOSED WALL (SEE PARTITION TYPE)

KEY MAP

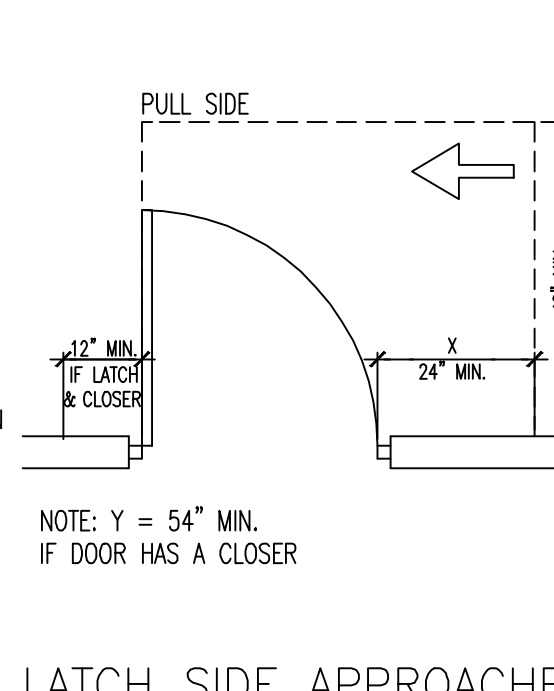


No.	Date	Revision

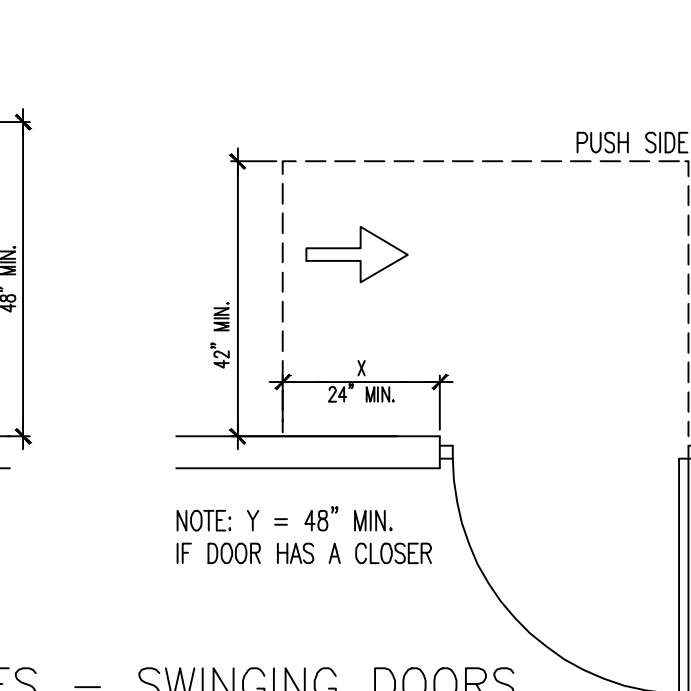
Project No: 2627 / 2620	Project: PROPOSED CAFE ALTERATION & RENOVATION PROJECT
Date: 04/19/2026	313 E 3RD ST., BETHLEHEM PA 18015
Drawn By: R.O./K.K.	Client: -
Checked By: J.Y.A.	Drawing title: COVER PAGE
Scale: As Noted	Lot: 6
Block: 2	Drawing No: T-100
Seal: Nassir Almkhtar, RA PA Lic. # RA4041	Heritage Madison Architecture, LLC



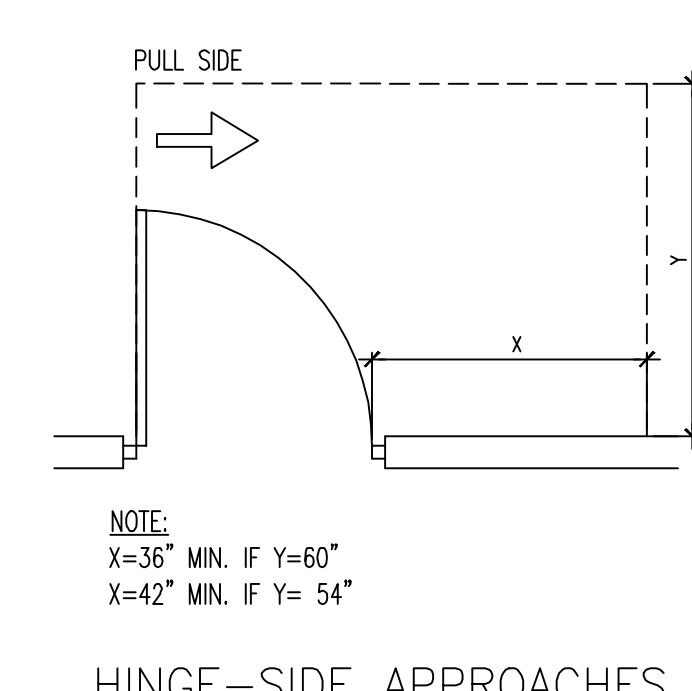
- GENERAL NOTES ON ACCESSIBILITY NOTE: BARRIER FREE STANDARDS INDICATED HEREIN ARE TYPICAL. DIMENSIONS SHOWN ARE TYPICAL UNLESS INDICATED OTHERWISE ELSEWHERE IN THE DRAWINGS. 1. ACCESSIBILITY IS GOVERNED BY THE 2021 INTERNATIONAL BUILDING CODE NJ EDITION AND THE ICC/ANSI A117.1-2017 STANDARD. THE FOLLOWING NOTES ARE REQUIREMENTS OF THE ICC/ANSI A117.1-2017 STANDARD AND ARE PART OF THE BUILDING LAWS OF THE STATE OF NEW JERSEY.
- THE CLEAR WIDTH OF A PASSAGEWAY FOR A SINGLE WHEELCHAIR SHALL BE 32" FOR A PASSAGEWAY OF 24" OR LESS AND 36" FOR A PASSAGEWAY LONGER THAN 24".
 - THE CLEAR FLOOR SPACE REQUIRED FOR A SINGLE WHEELCHAIR SHALL BE 30"x48".
 - THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36".
 - HANDRAILS: THE TOP OF GRIPPING SURFACE OF HANDRAILS SHALL BE 34" MIN. AND 38" MAX. VERTICALLY ABOVE THE STAIR NOSING OR RAMP SURFACE. CLEAR SPACE BETWEEN HANDRAILS AND WALL SURFACE SHALL BE 1 1/2" MIN.
 - PROTRUDING OBJECTS: OBJECTS WITH LEADING EDGES LOCATED MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FLOOR SHALL PROTRUDE NOT MORE THAN 4" FROM THE WALL.
 - GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHEN VERTICAL CLEARANCE OF AN AREA ADJOINING AN ACCESSIBLE ROUTE IS LESS THAN 80" HIGH.
 - CHANGES IN LEVEL: A CHANGE IN LEVEL OF 1/4" HIGH MAX. SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. A CHANGE IN LEVEL OF BETWEEN 1/4" AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
 - RAMPS SHALL HAVE A SLOPE NOT STEEPER THAN 1:12. THE MAX. RISE FOR ANY RAMP WITHOUT A LANDING IS 30". THE RAMP SHALL HAVE A CLEAR WIDTH OF 36". LANDING LENGTH SHALL BE A MIN. OF 60".
 - ACCESSIBLE PARKING SPACES SHALL BE 96" WIDE AND HAVE AN ADJACENT ACCESS AISLE OF NOT LESS THAN 60" MIN. PASSENGER LOADING ZONES SHALL PROVIDE AN ACCESS AISLE 60" WIDE AND 20' LONG MIN. ADJACENT TO THE VEHICLE PULL-UP SPACE AND AT THE SAME LEVEL AS THE ROADWAY.
 - STAIR TREADS AND RISERS SHALL BE AS FOLLOWS: STAIR TREADS SHALL BE MIN. OF 11" DEEP MEASURED FROM RISER TO RISER. STAIR RISERS SHALL BE 4" HIGH MIN. AND 7" HIGH MAX. OPEN RISERS ARE NOT PERMITTED.
 - DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES WILL BE 5 SECONDS MIN.
 - DOOR OPENING FORCE WHERE CLOSERS ARE USED SHALL BE 5 POUNDS MAX., EXCEPT FIRE RATED DOORS SHALL HAVE THE MIN. OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.
 - THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
 - DOORS MAY SWING INTO A TOILET ROOM IF THE ROOM IS FOR INDIVIDUAL USE ONLY. A CLEAR FLOOR SPACE OF 30" X 48" IS PROVIDED BEYOND THE ARC OF THE DOOR. A WHEELCHAIR TURNING SPACE IS PROVIDED WITHIN THE ROOM. AND A PRIVACY LOCK IS PROVIDED ON THE DOOR. FULLY POWERED AUTOMATIC DOORS SHALL COMPLY WITH ANSI/BHMA A156.10. LOW-ENERGY AND POWER-ASSISTED DOORS SHALL COMPLY WITH ANSI/BHMA 156.19.
 - BATHROOM MEDICINE CABINETS SHALL BE LOCATED WITH A USABLE SHELF 44" MAX. ABOVE THE FLOOR. BATHROOM MIRRORS SHALL BE LOCATED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX. ABOVE THE FLOOR.
 - WATER CLOSETS: THE TOP OF THE WATER CLOSET SEAT SHALL BE 17"-19" ABOVE THE FLOOR.
 - TOILET ROOM LAVATORIES SHALL BE MOUNTED WITH THE RIM 34" MAX. ABOVE THE FLOOR.
 - WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS WHICH ARE EXPOSED SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.
 - GRAB BARS SHALL HAVE A DIAMETER OF 1 1/4" TO 1 1/2". THE CLEAR SPACE BETWEEN THE GRAB BAR SURFACE AND THE WALL SURFACE SHALL BE 1 1/2" MIN.
 - STRUCTURAL STRENGTH: ALLOWABLE STRESSES IN BENDING, SHEAR AND TENSION SHALL NOT BE EXCEEDED FOR MATERIALS USED WHEN A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED. AT ANY POINT ON THE GRAB BAR, SEAT, FASTENER MOUNTING DEVICE OR SUPPORTING STRUCTURE.
 - SIGNAGE: REFER TO ICC/ANSI A 117.1-2003 FOR SIGNAGE REQUIREMENTS.
 - KITCHEN OR PANTRY SINKS: A PARALLEL APPROACH SHALL BE PERMITTED TO A KITCHEN SINK IN A SPACE WHERE A COOKTOP OR CONVENTIONAL RANGE IS NOT PROVIDED. THE SINK AND SURROUNDING COUNTER SHALL BE 30" MIN. WIDTH AND 34" MAX. ABOVE THE FLOOR.
 - THE FRONT OF THE LAVATORIES AND SINKS SHALL BE 34" MAX. ABOVE THE FLOOR, MEASURED TO THE HIGHER OF THE RIM OR COUNTER SURFACE.



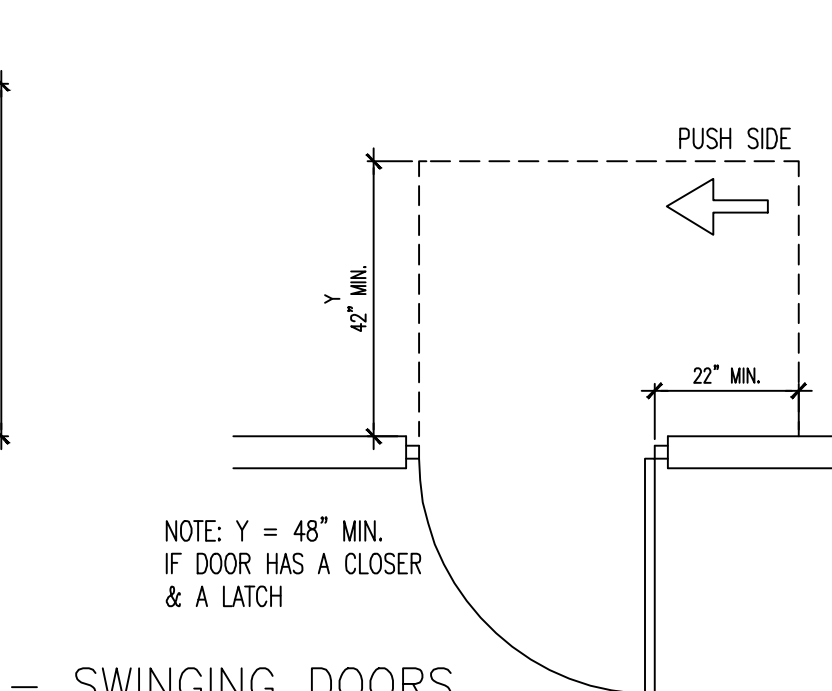
LATCH SIDE APPROACHES - SWINGING DOORS
SCALE: NOT TO SCALE



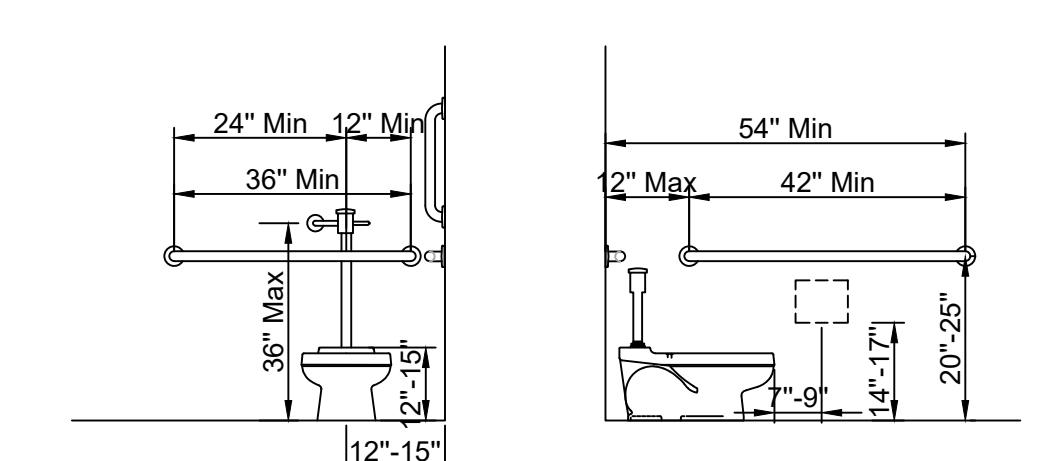
FRONT APPROACHES - SWINGING DOORS
SCALE: NOT TO SCALE



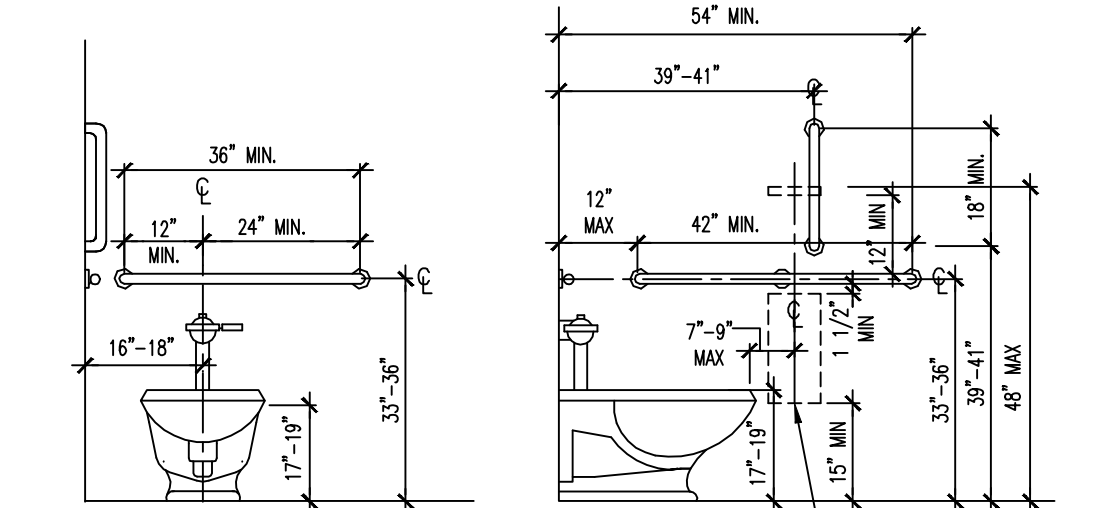
HINGE-SIDE APPROACHES - SWINGING DOORS
SCALE: NOT TO SCALE
ALL DOORS IN ALCOVES SHALL COMPLY WITH CLEARANCE FOR FRONT APPROACHES



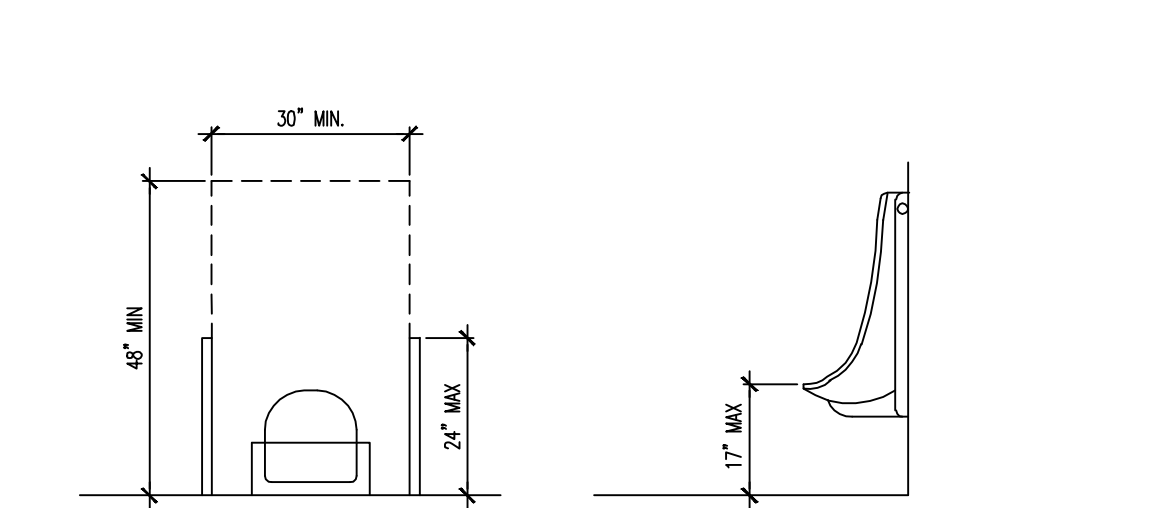
LAVATORY SECTION
SCALE: 1/2" = 1'-0"



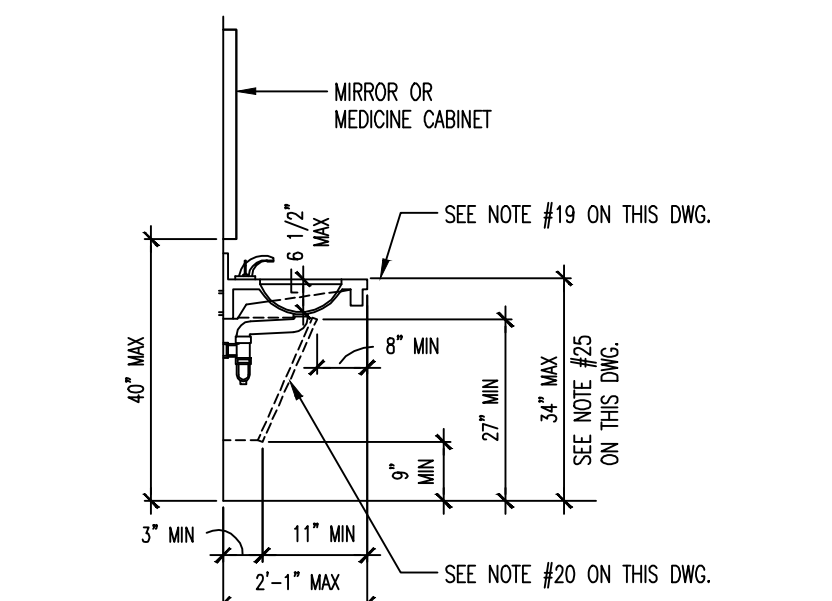
TYPICAL ACCESSIBLE BABY TOILET ELEVATIONS
SCALE: NOT TO SCALE



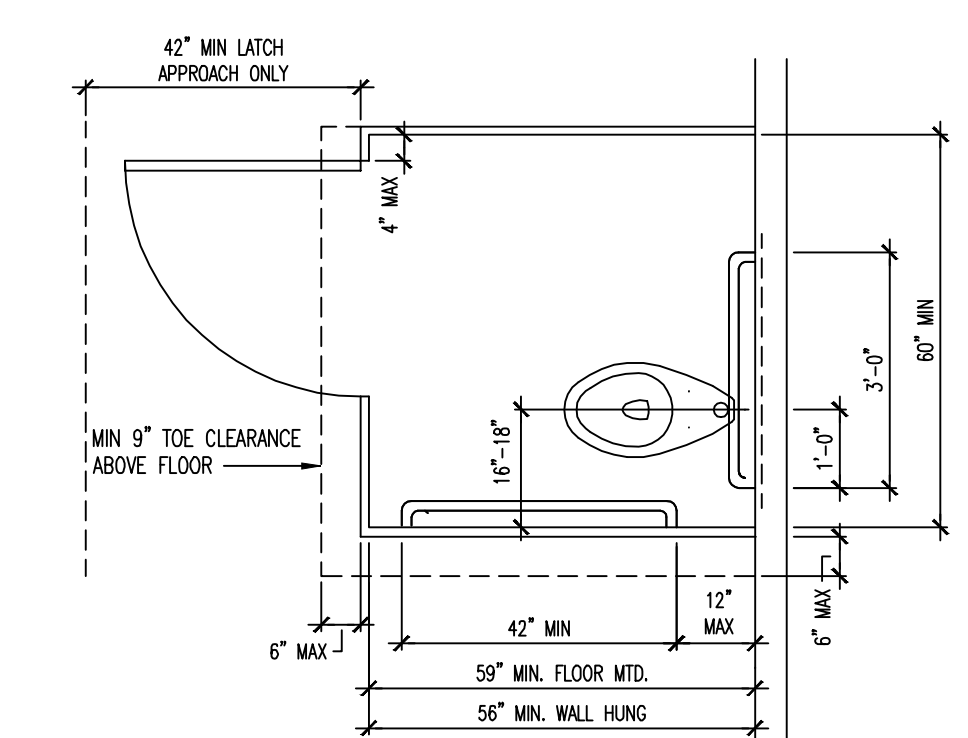
TYPICAL ACCESSIBLE TOILET ELEVATIONS
SCALE: 1/2" = 1'-0"



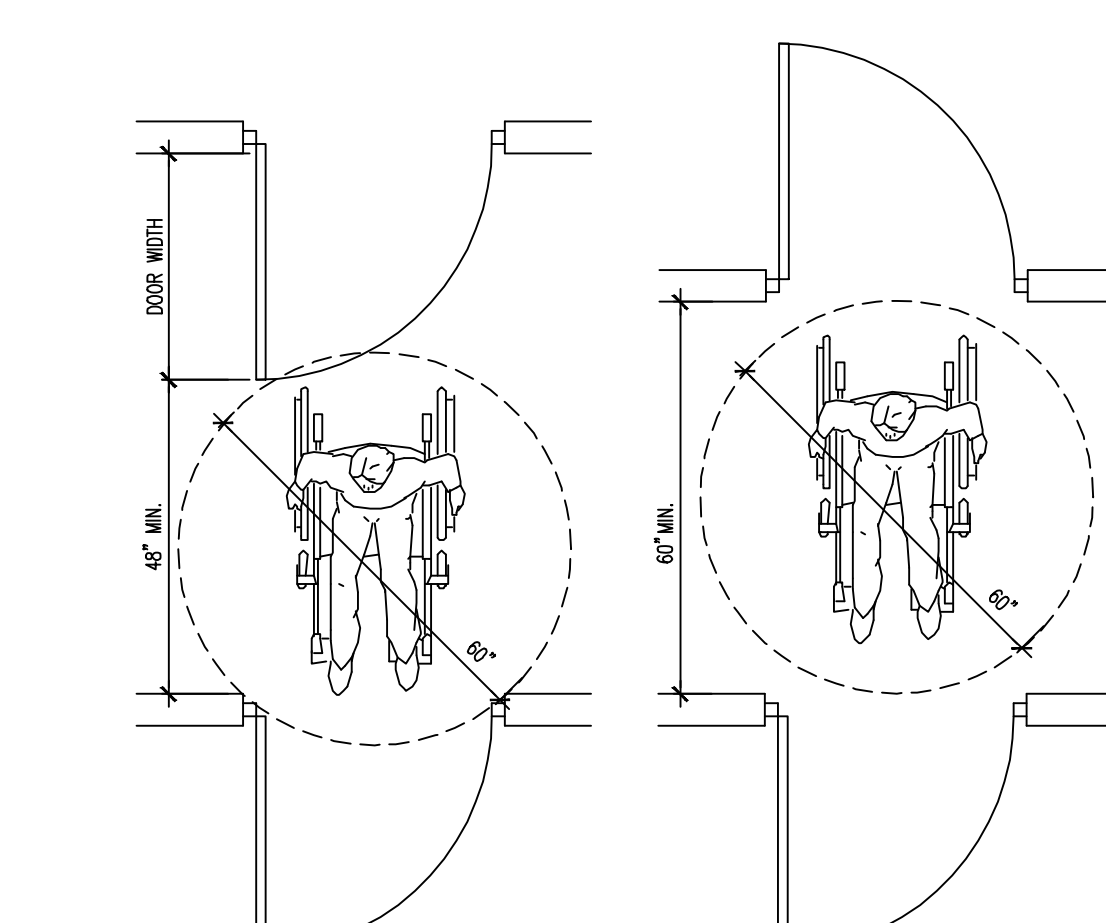
TYPICAL ACCESSIBLE URINAL PLAN & ELEVATION
SCALE: 1/2" = 1'-0"



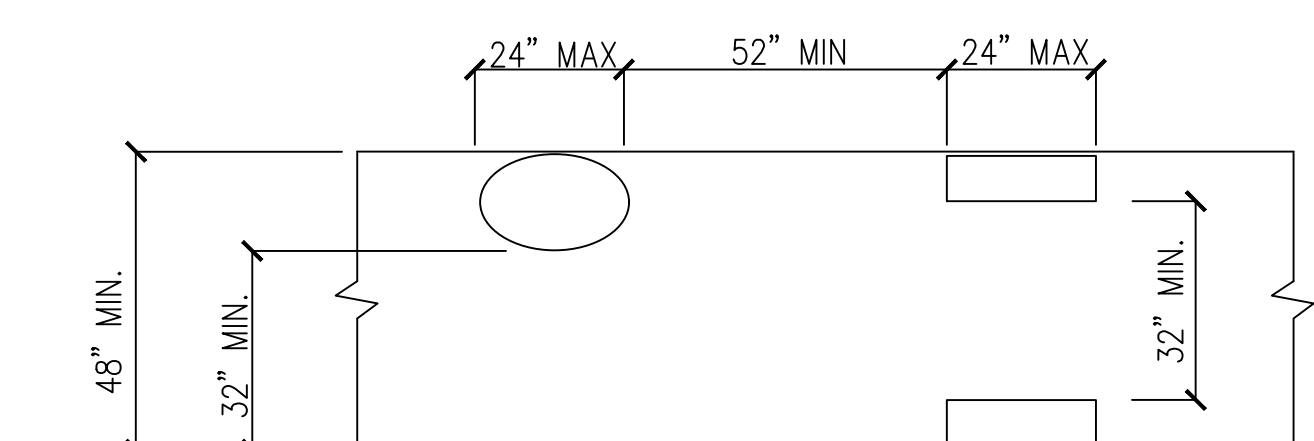
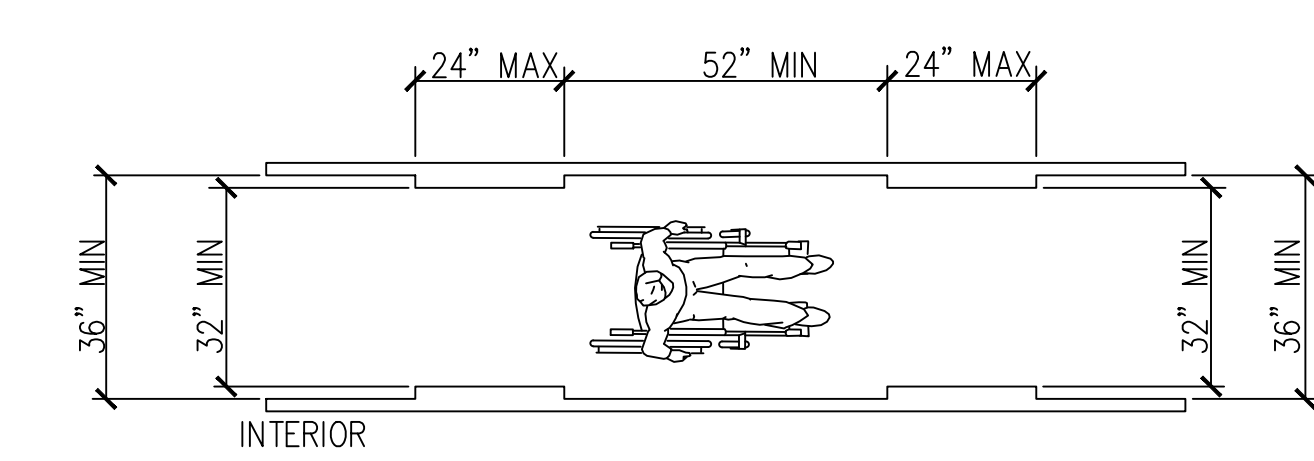
LAVATORY SECTION
SCALE: 1/2" = 1'-0"



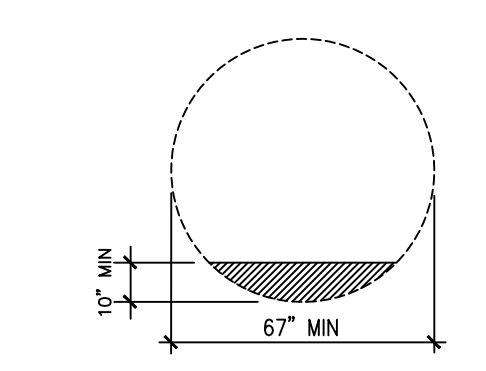
TYPICAL ACCESSIBLE TOILET STALL PLAN
SCALE: 1/2" = 1'-0"



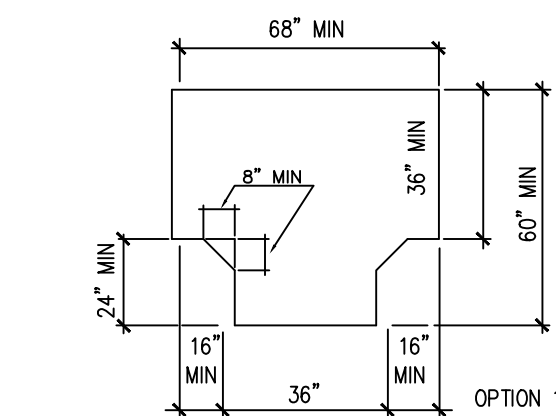
TWO HINGED DOORS IN SERIES
SCALE: NOT TO SCALE



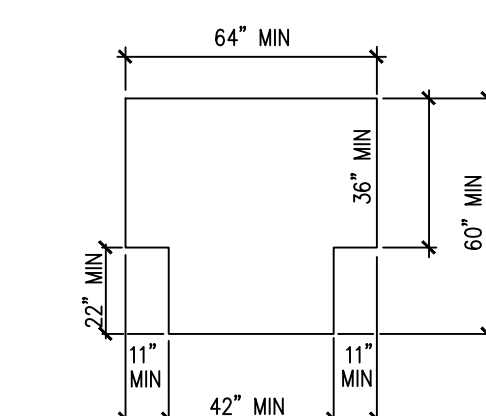
CLEAR WIDTH OF AN ACCESSIBLE ROUTE
SCALE: NOT TO SCALE



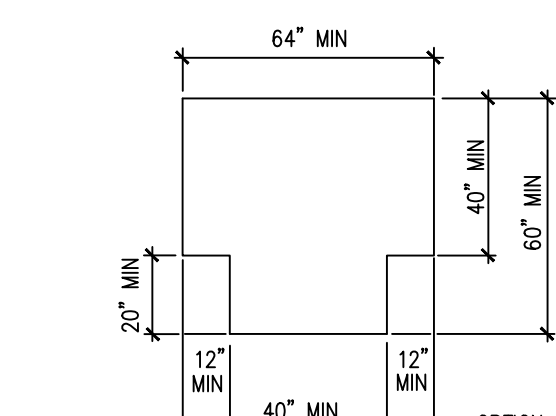
CIRCULAR TURNING SPACE NEW BUILDINGS
SCALE: NOT TO SCALE



OPTION 1

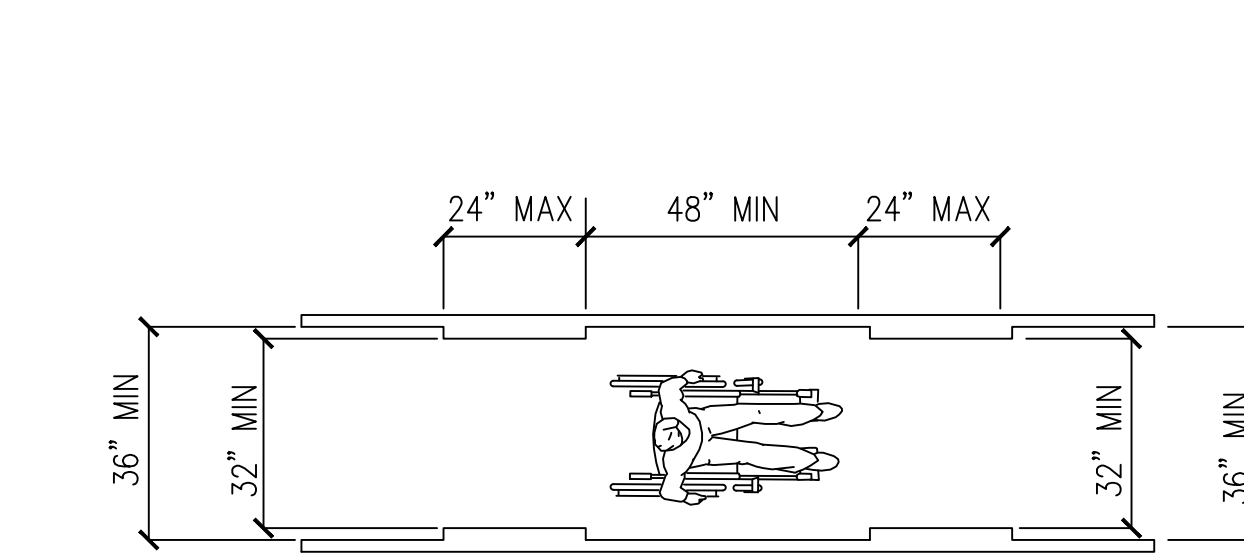


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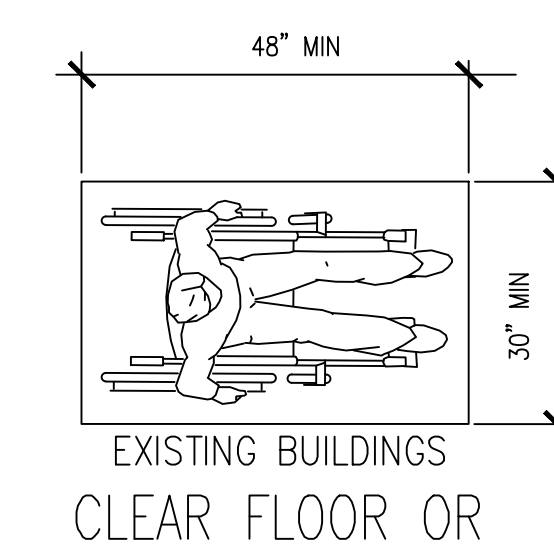


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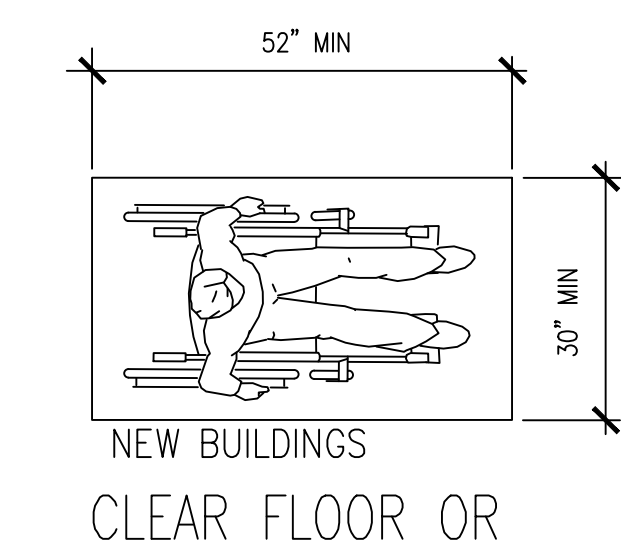
CIRCULAR TURNING SPACE NEW BUILDINGS
SCALE: NOT TO SCALE



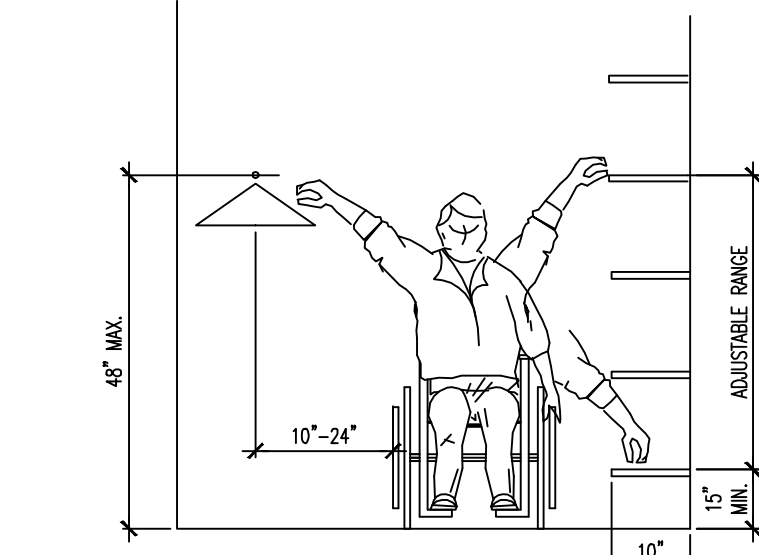
CLEAR WIDTH OF AN ACCESSIBLE ROUTE - EXISTING BUILDINGS - INTERIOR
SCALE: NOT TO SCALE



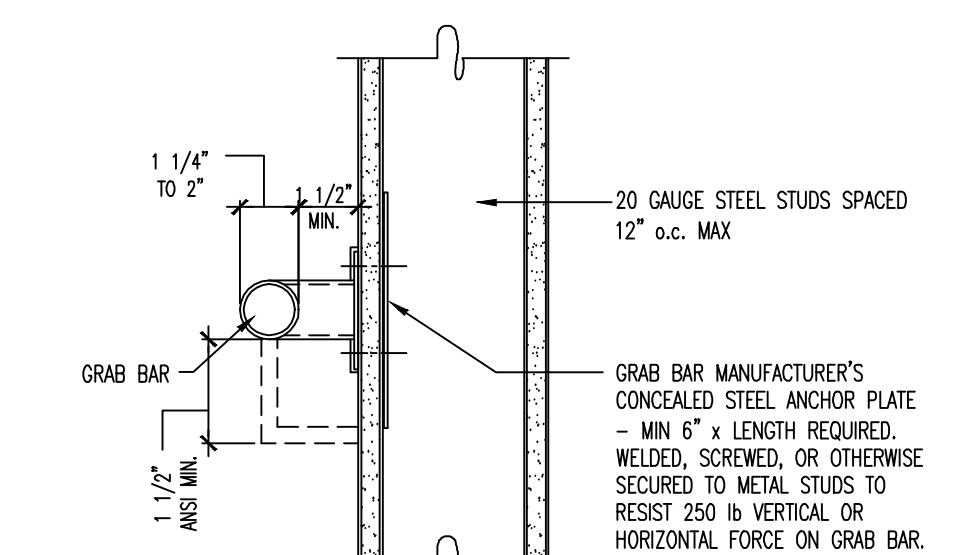
EXISTING BUILDINGS CLEAR FLOOR OR GROUND CLEARANCE
SCALE: N.T.S.



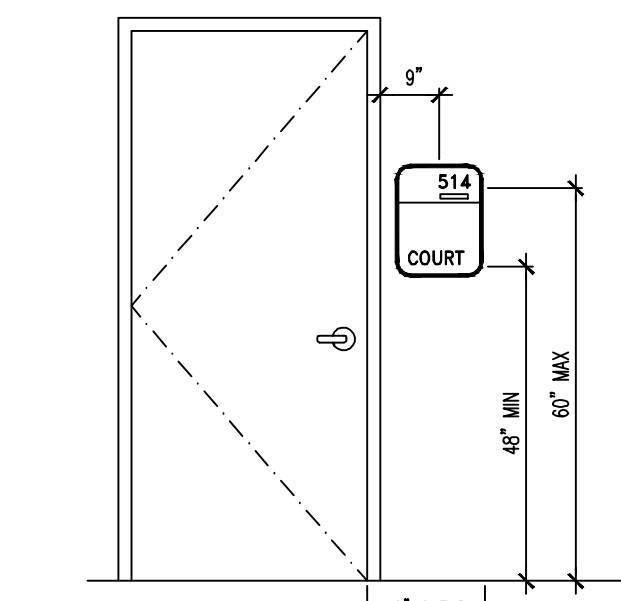
NEW BUILDINGS CLEAR FLOOR OR GROUND CLEARANCE
SCALE: N.T.S.



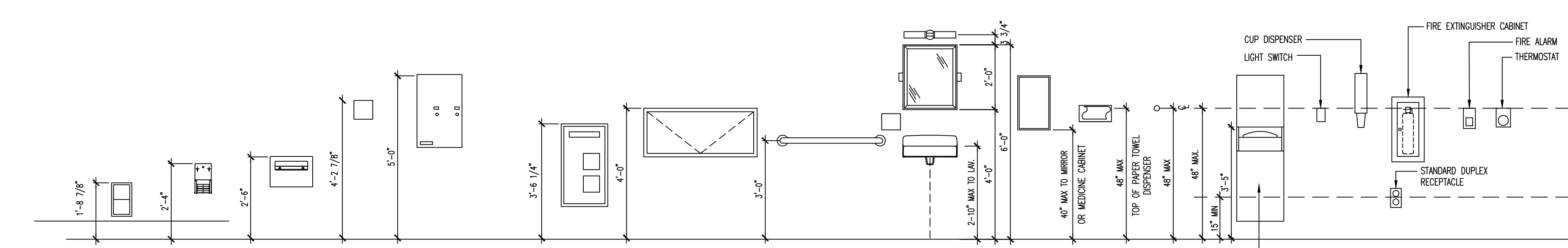
UNOBSTRUCTED SIDE REACH
SCALE: NOT TO SCALE



TYPICAL GRAB BAR
NOTE: USE GRAB BAR MANUFACTURER'S RECOMMENDED ANCHORS & MOUNTING KIT FOR EACH TYPE OF WALL CONSTRUCTION AND TOILET PARTITIONS.



INTERIOR SIGN LOCATION ELEVATION
SCALE: 1/2" = 1'-0"



TYPICAL ACCESSIBLE MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"

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DESIGN II CONSTRUCTION
MANAGEMENT II CONSULTING

KEY MAP

No.	Date:	Revision:

Project No: 2627 / 26020
Date: 04/19/2026
Drawn By: R.O./K.K.
Checked By: J.Y.A.

Project: PROPOSED CAFE ALTERATION & RENOVATION PROJECT
313 E 3RD ST., BETHLEHEM PA 18015
Client: -

Scale: As Noted
Drawing title: HANDICAPPED DETAILS

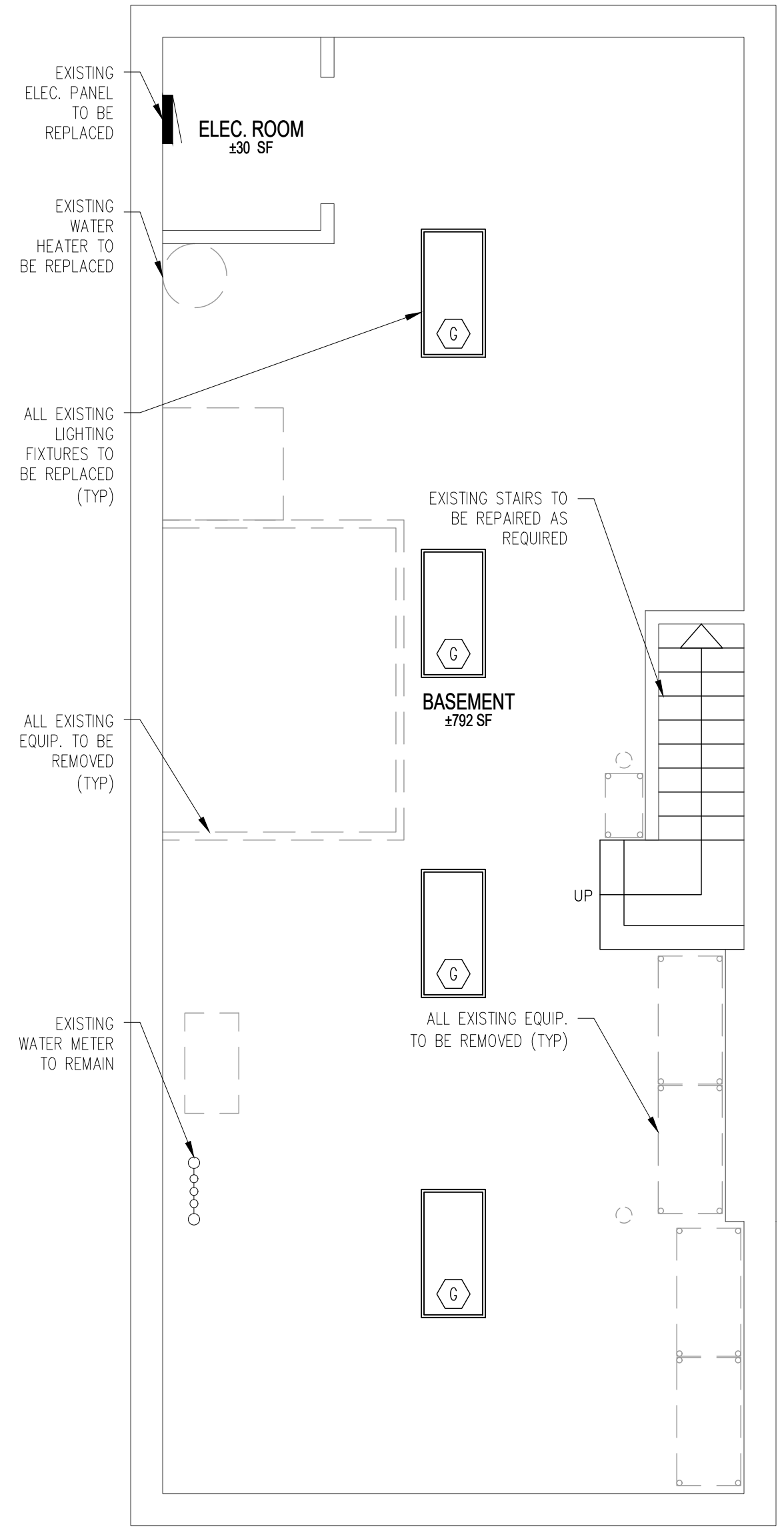
Lot: 6
Block: 2

Seal: Nassir Almukhtar, RA
PA Lic. # RA4041

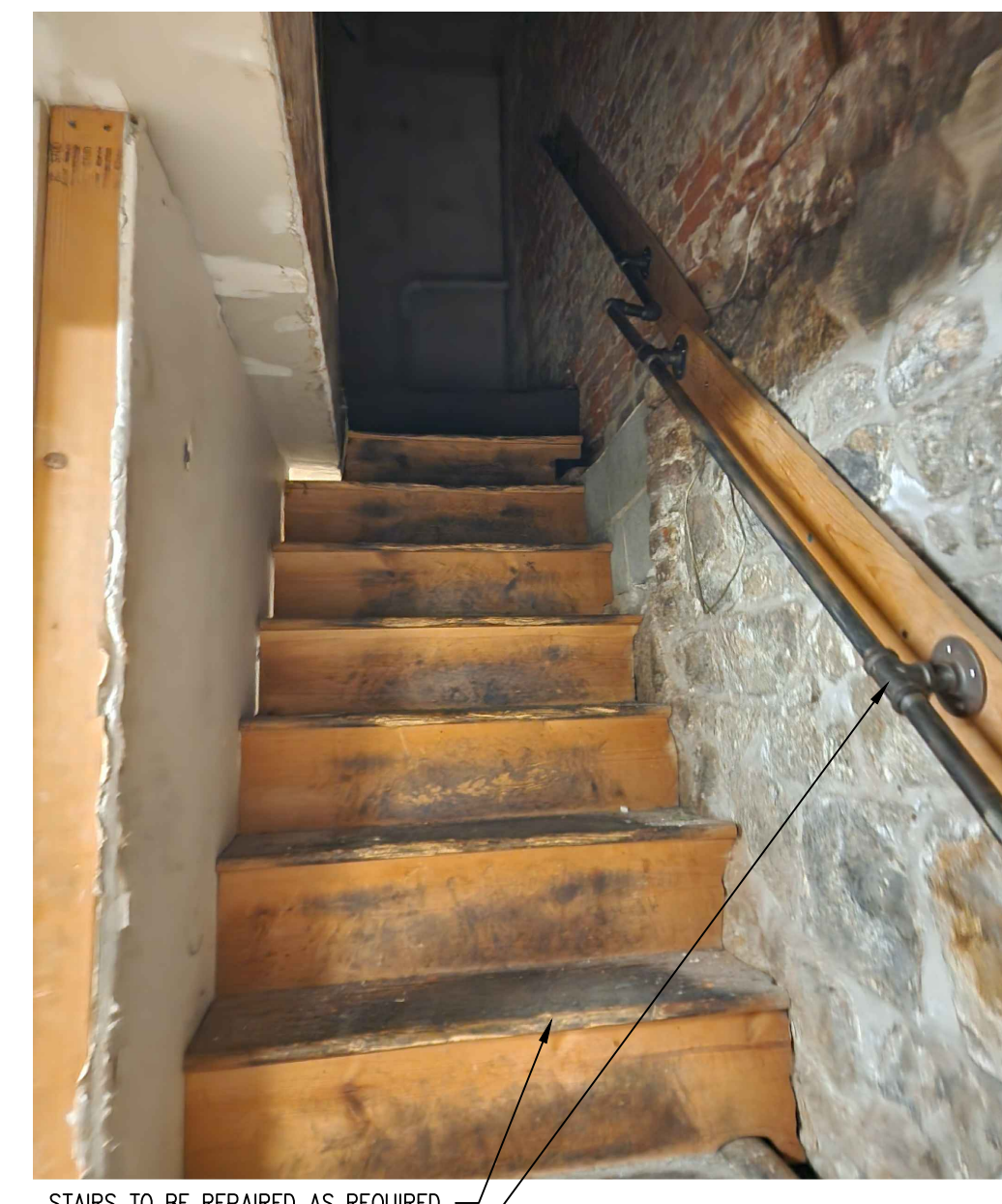
Drawing No: **A-001**

Heritage Madison Architecture, LLC





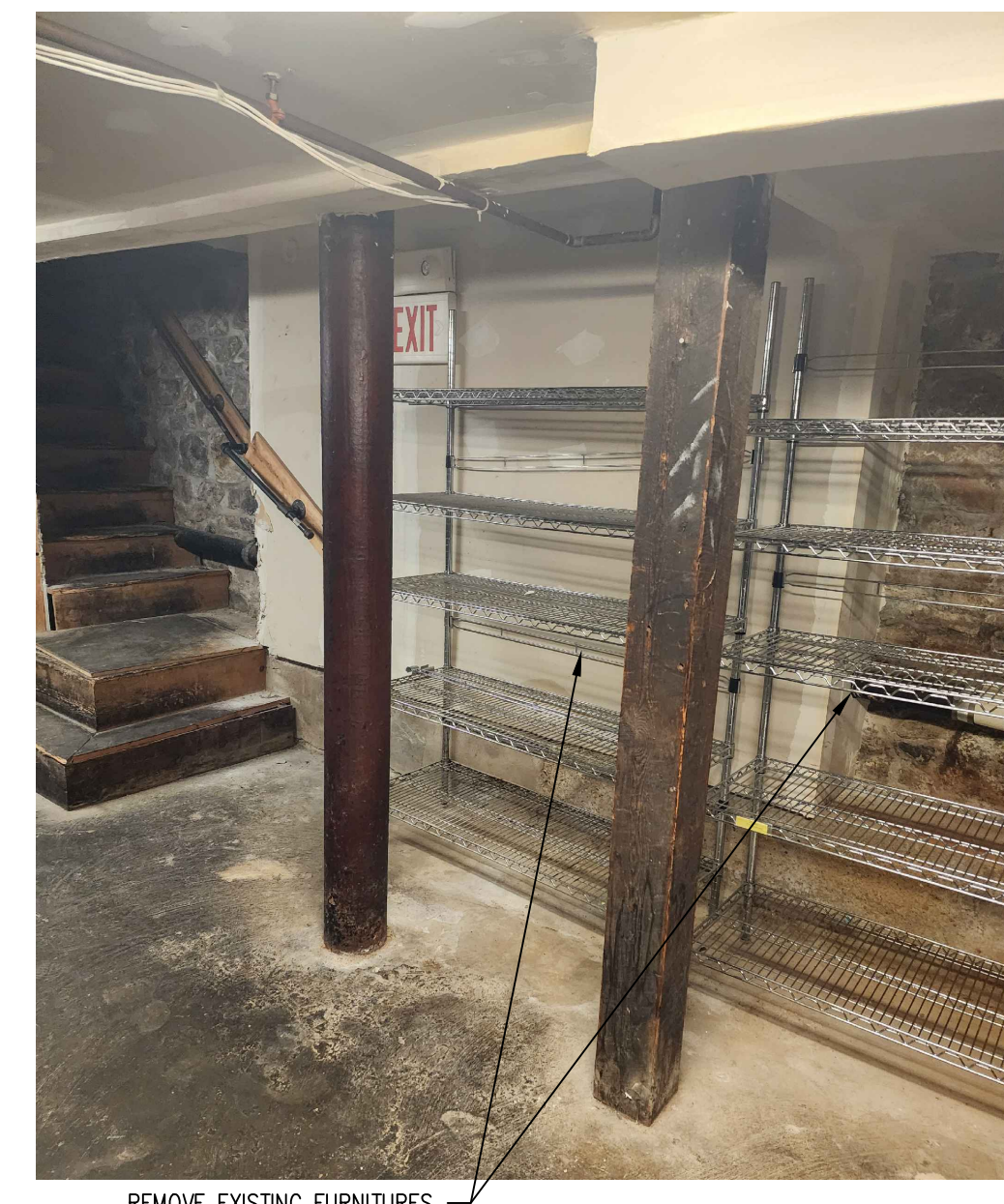
1 BASEMENT FL. EXISTING CONDITIONS & DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



STAIRS TO BE REPAIRED AS REQUIRED
 EXISTING HANDRAIL TO REMAIN



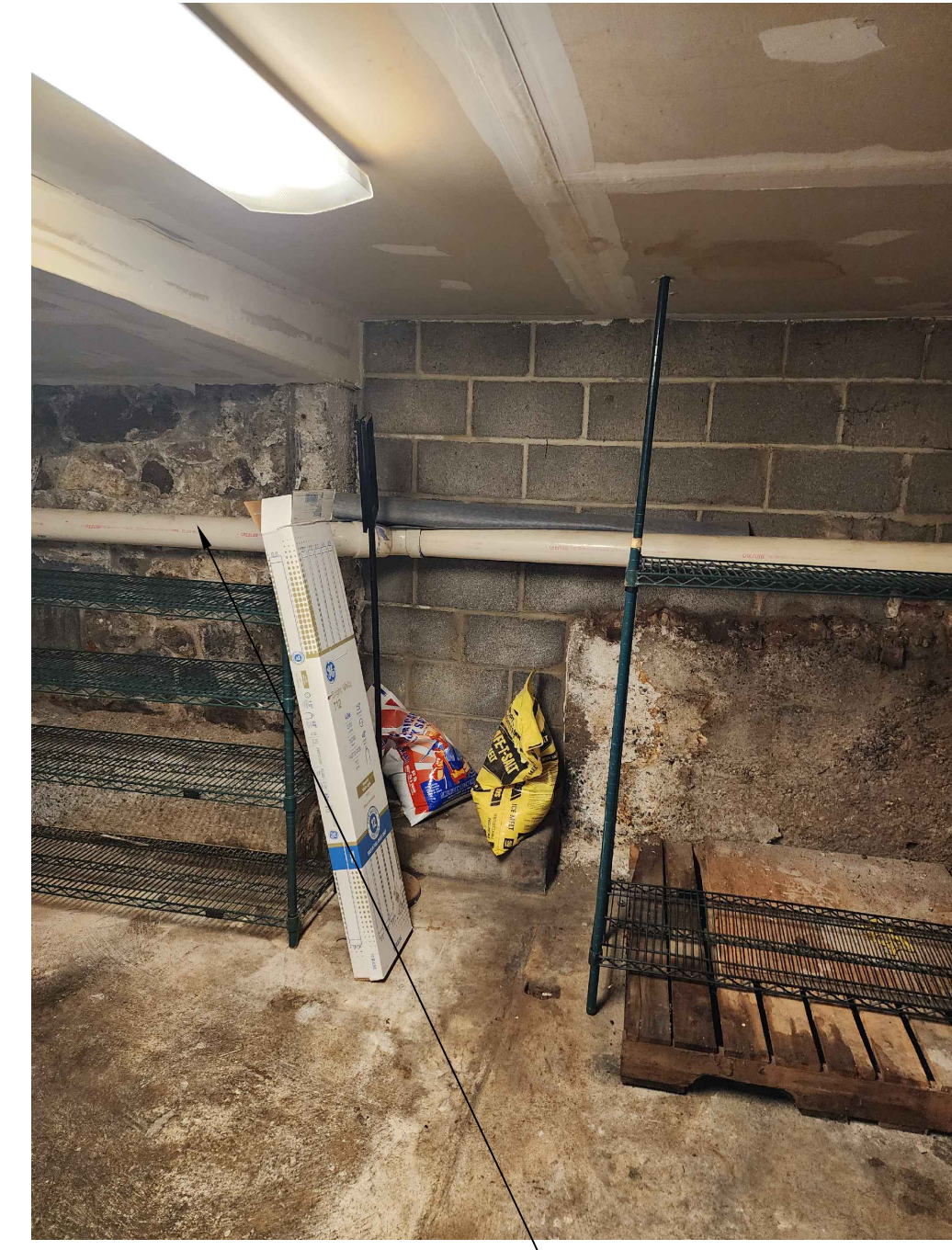
EXISTING EQUIPMENTS TO BE REMOVED
 STAIRS TO BE REPAIRED AS REQUIRED



REMOVE EXISTING FURNITURES



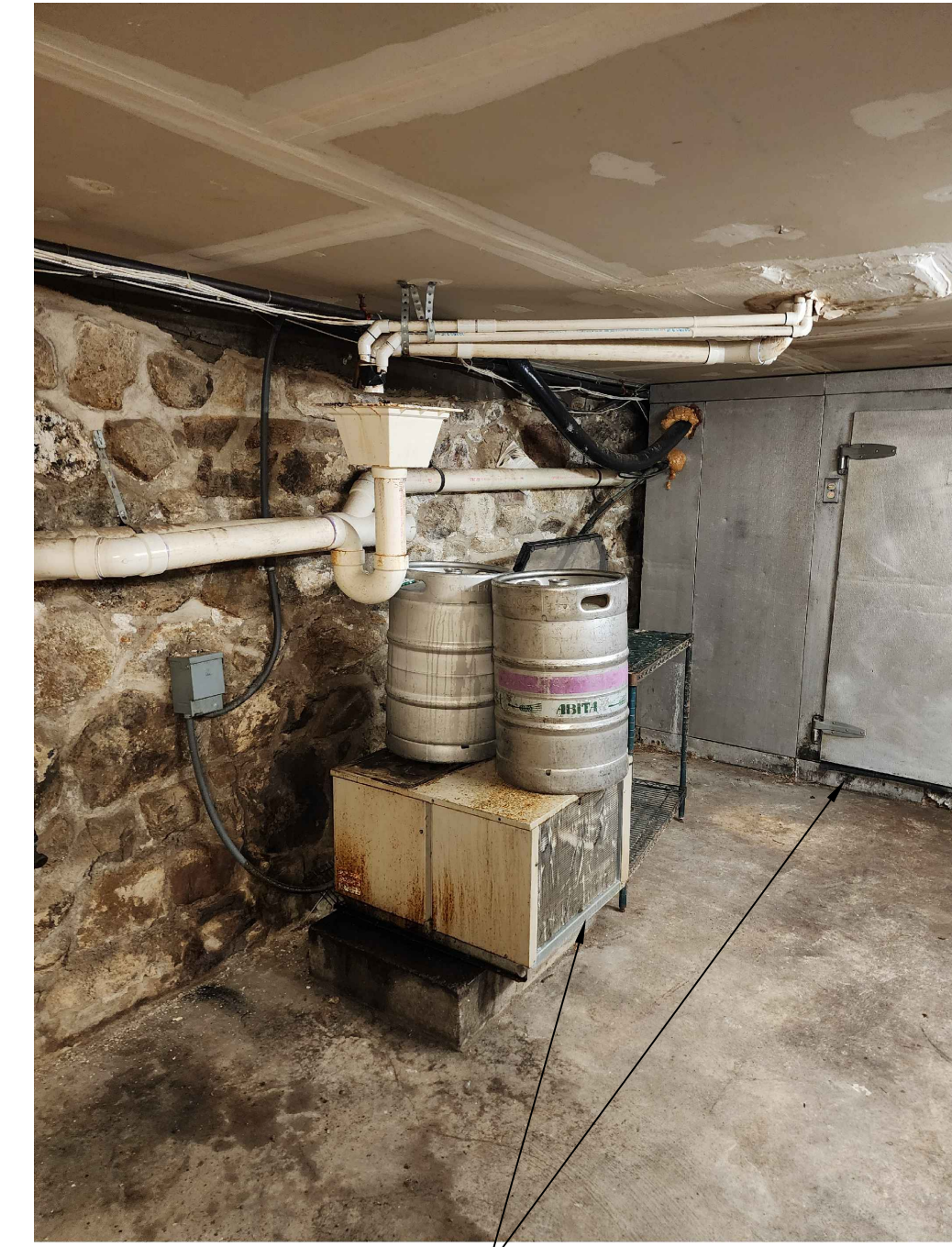
EXISTING FURNITURES TO BE REMOVED



EXISTING BRANCHES TO BE REMOVED
 SEE WASTE WATER PLAN P-100



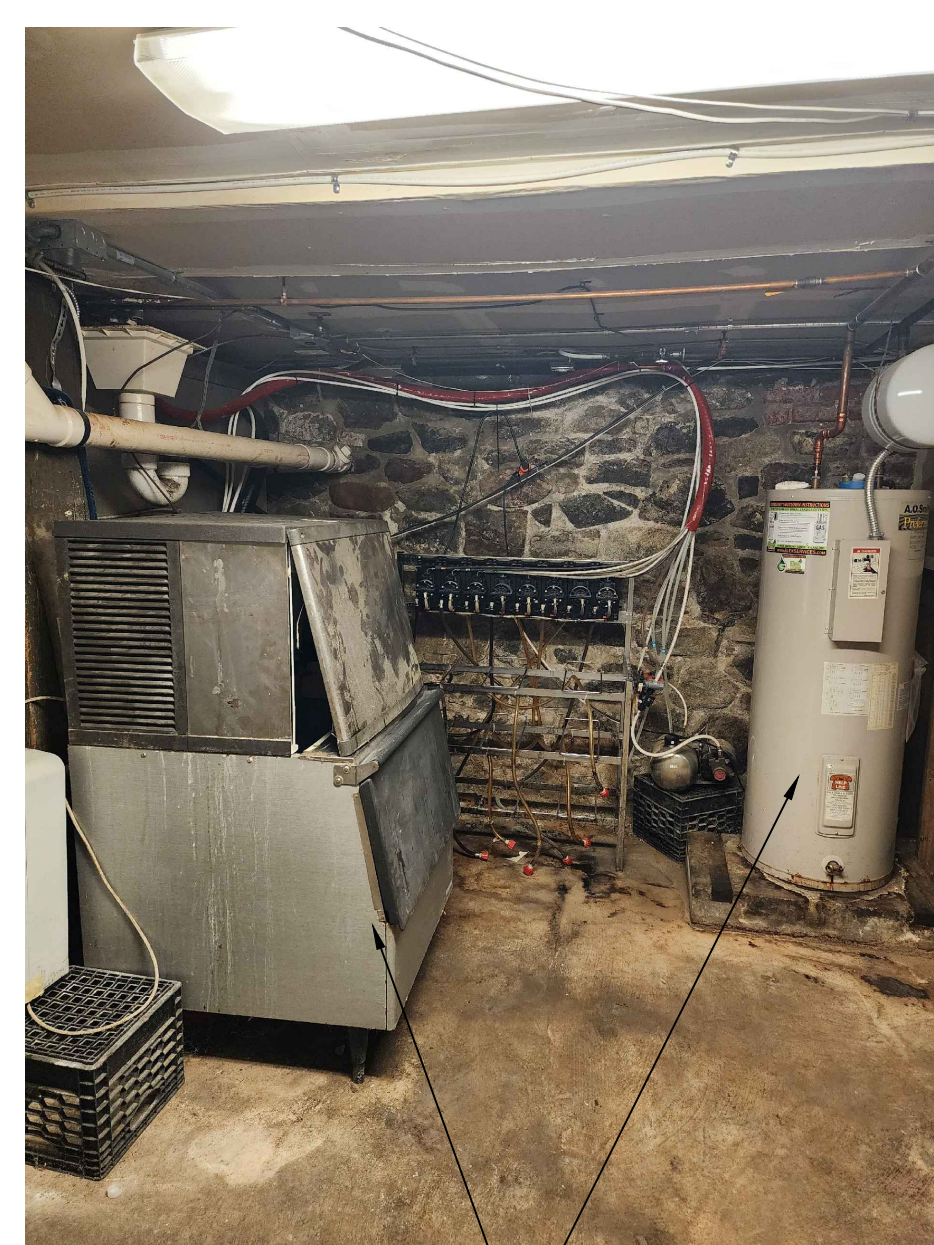
EXISTING BRANCHES TO BE REMOVED
 SEE WASTE WATER PLAN P-100



EXISTING EQUIPMENTS TO BE REMOVED



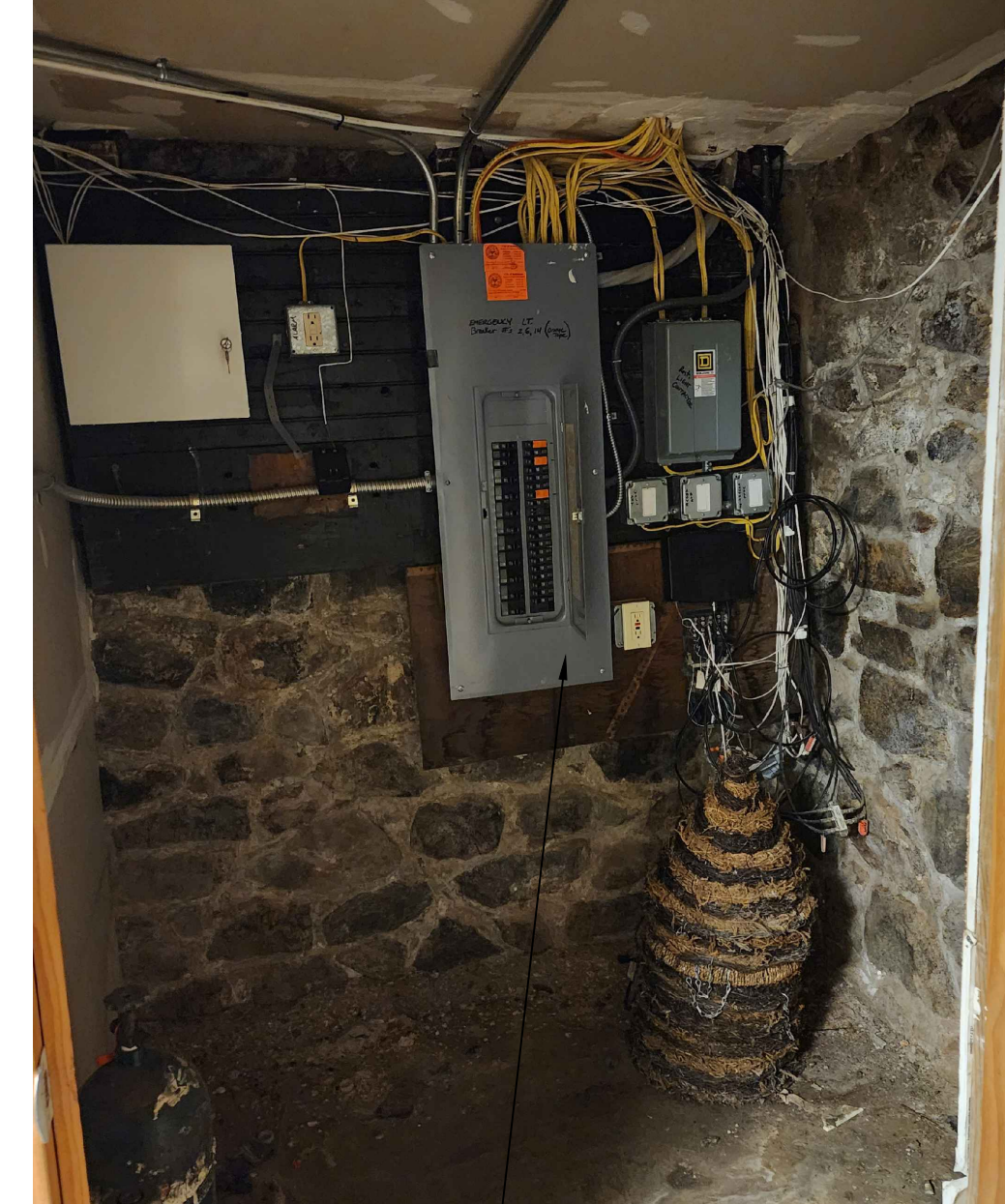
EXISTING EQUIPMENTS TO BE REMOVED



EXISTING EQUIPMENT TO BE REPLACED
 EXISTING WATER HEATER TO BE REPLACED



EXISTING EQUIP. TO BE REMOVED



EXISTING ELECTRICAL PANEL TO REPLACE



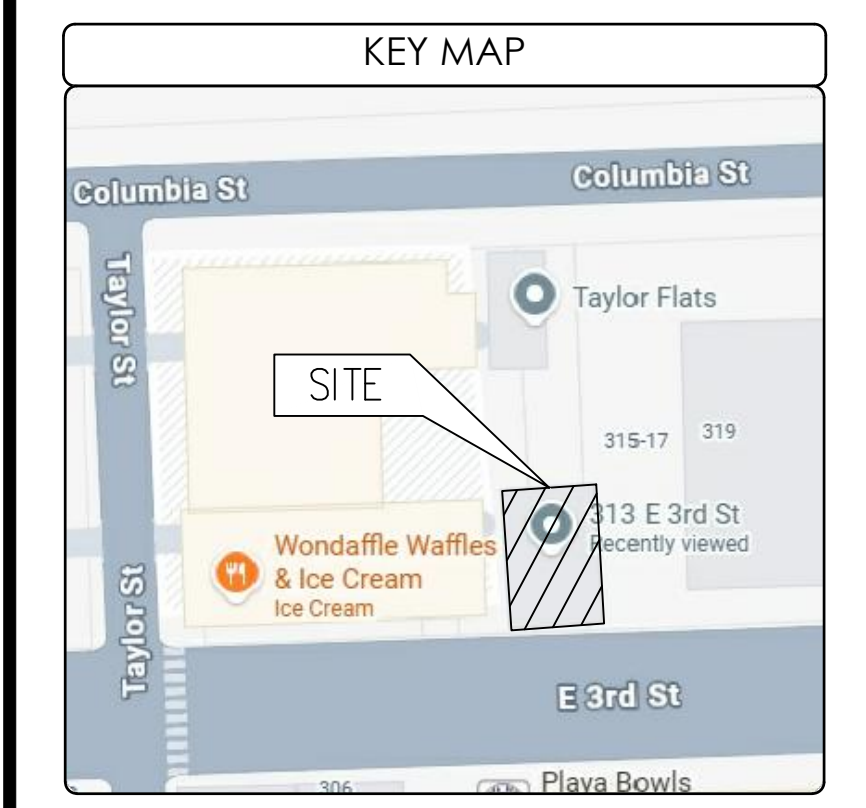
EXISTING MAIN PIPES TO REMAIN.
 ALL BRANCHES SHALL BE REMOVED AND CAPPED.



EXISTING MAIN PIPES TO REMAIN.
 ALL BRANCHES SHALL BE REMOVED AND CAPPED.

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No.	Date:	Revision:

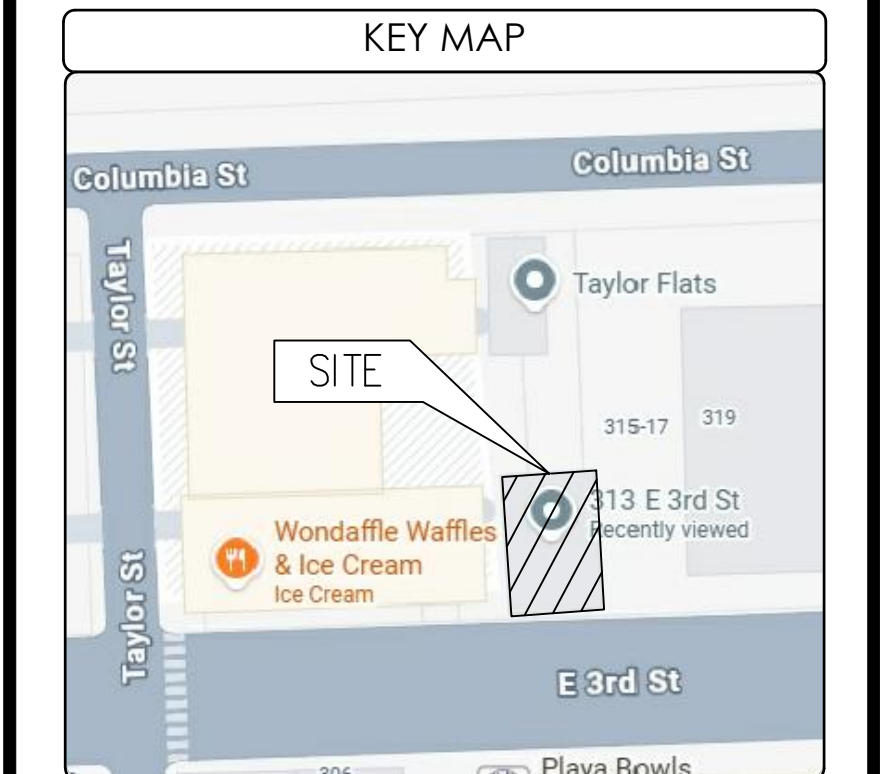
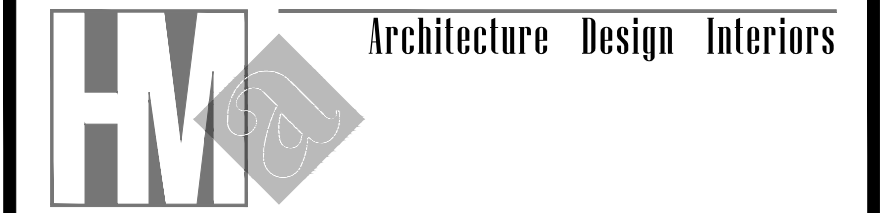
Project No: 2627 / 26020
 Date: 04/19/2026
 Drawn By: R.O./K.K.
 Checked By: J.Y.A.
 Scale: As Noted
 Lot: 6
 Block: 2

Project: PROPOSED CAFE ALTERATION & RENOVATION PROJECT
 313 E 3RD ST., BETHLEHEM PA 18015
 Client: -
 Drawing title: BASEMENT FL. EXISTING CONDITIONS & DEMOLITION NOTES

Seal: Nassir Almkhtar, RA
 PA Lic. # RA4041

Drawing No: **D-100**
 Heritage Madison Architecture, LLC

C:\Users\jmadison\OneDrive\Projects\2627\26020\2627-26020-DRAFTING\BETHLEHEM PA\CAFE\CAFE\EXISTING\EXISTING PLAN.dwg, 4/19/2026, 2:45:11 PM, jma



No:	Date:	Revision:

Project No: 2627 / 26020	Project: PROPOSED CAFE ALTERATION & RENOVATION PROJECT
Date: 04/19/2026	313 E 3RD ST., BETHLEHEM PA 18015
Drawn By: R.O./K.K.	Client: -
Checked By: J.Y.A.	Drawing title: REFLECTED CEILING PLAN
Scale: As Noted	Block: 2
Lot: 6	Seal: Nassir Almkhtar, RA PA Lic. # RA4041
Drawing No: A-120	Heritage Madison Architecture, LLC

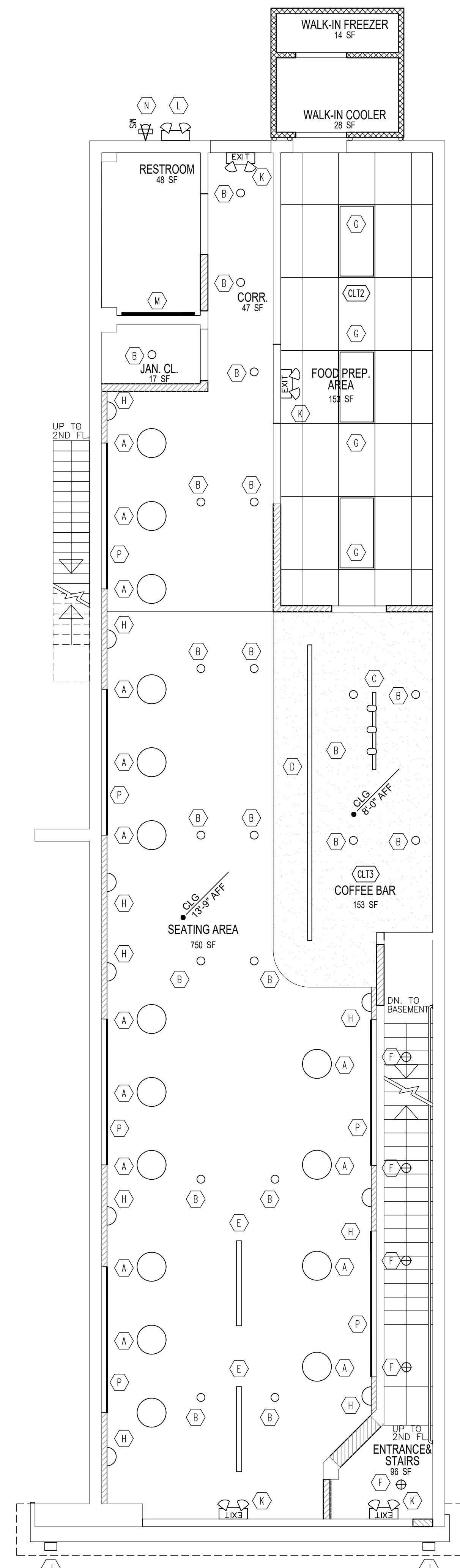
LIGHTING SCHEDULE

SYMBOL	TAG	BRAND	MOUNTING	MODEL	LOCATION
○	A	BOOTH PENDANT	SUSPENDED	SUSPENDED GLOBE LIGHT	CAFETERIA
○	B	RECESSED DOWNLIGHT	RECESSED	RECESSED LIGHT	CAFETERIA
—	C	GIMBAL TRACK LIGHT	SUSPENDED	TRACK LIGHT WITH GIMBAL RINGFAR LIGHT	CAFETERIA
—	D	SUSPENDED STRIP LIGHT	SUSPENDED	SUSPENDED STRIP LIGHT	CAFETERIA
—	E	SUSPENDED STRIP LIGHT	SUSPENDED	SUSPENDED STRIP LIGHT	CAFETERIA
—	H	WALL SCONCE	SURFACE	MARBLE WALL SCONCE	CAFETERIA
□	G	METALUX	LAY IN	CGTSURF22 2X2 CGT SURFACE MOUNT KIT 080083083121	FOOD PREP. AREA, RESTROOM
⊕	F	T.B.D.	RECESSED	CGTSURF22 2X2 CGT SURFACE MOUNT KIT 080083083121	STAIR
—	J	HINKLEY	SURFACE	HINKLEY 31" BLACK EXTRA LARGE WALL MOUNT LANTERN, MODEL: DAWSON 17509BK	FACADE
—	L	LSI	SURFACE	HEL-HP1-WH	FOOD PREP. AREA, CAFETERIA
—	K	LSI	SURFACE	LPRX-R-WH-LD11 RL WHERE REMOTE HEADS ARE CONNECTED	FOOD PREP. AREA, CAFETERIA
—	M	CORANET	SURFACE	LSR3 LED-4'-40-MED-UNV-DB-W-T15-SD-NA-NA-NA	RESTROOM
—	N	HALO	WALL MOUNTED	TGS25402MRB	EXTERIOR
—	P	T.B.D.	RECESSED	AS SELECTED BY OWNER	CAFETERIA

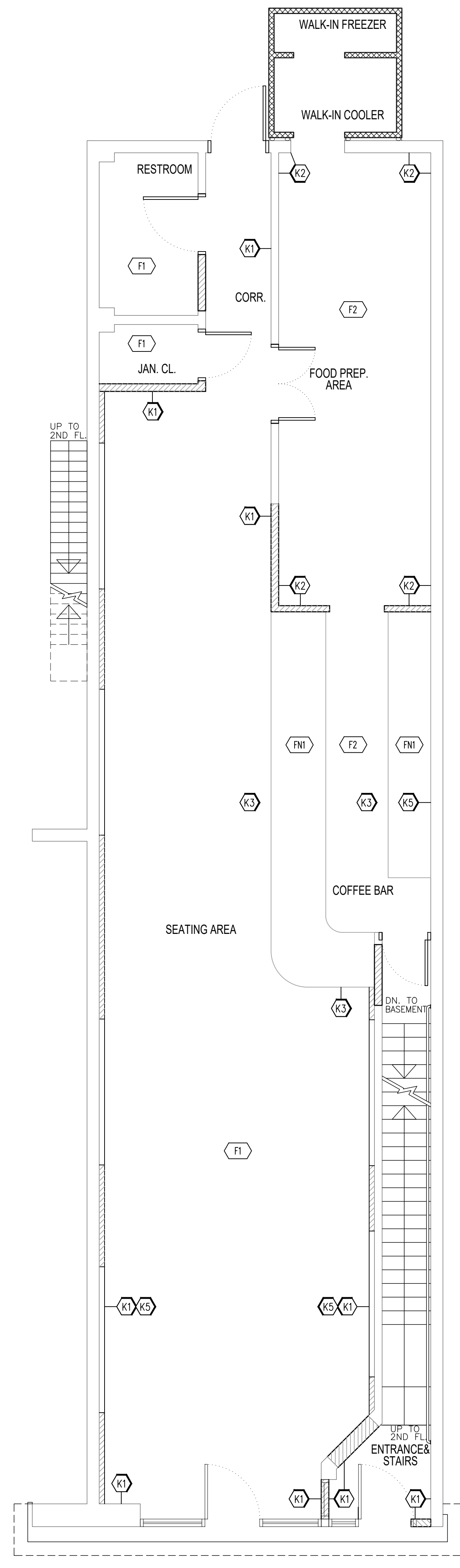
FINISH & MATERIAL SCHEDULE

FLOORING	DESCRIPTIONS	LOCATION
F1	FLOOR & DECOR PORCELAIN TILE MODEL: ANDOVER WHITE MATTE PORCELAIN TILE	CAFETERIA, RESTROOM
F2	QUARRY TILE MODEL: ARID FLASH	FOOD PREP. AREA, COFFEE BAR AREA
CEILING		
CLT1	2'X2' CEILING	SEE CEILING PL.
CLT2	2'X4' CEILING	SEE CEILING PL.
CLT3	2'X2' CEILING	SEE CEILING PL.
BASE		
B1	4" PINE BASE PAINTED WHITE	SEE FINISH PL.
WALLS		
K1	SHERWIN WILLIAMS MODEL: SW-7003 TOQUE WHITE	CAFETERIA
K2	SHERWIN WILLIAMS MODEL: SW-7551 GREEK VILLA	FOOD PREP. AREA
K3	CEMENTO PORCELAIN TILE MODEL: CHALK 4"X4" SILVER FOG MATTE	BAR TILE
K4	CEMENTO PORCELAIN TILE MODEL: LI-PT-260A	RESTROOM
K4	CEMENTO PORCELAIN TILE AS SELECTED BY OWNER	COFFEE BAR
K7	SHERWIN WILLIAMS MODEL: SW-7008 ALABASTER	FACADE
FINISHES		
FN1	T.B.D.	COFFEE BAR COUNTER

- NOTE:
- ALL INTERIOR FLOOR FINISH MATERIALS SHALL HAVE MINIMUM CLASS-2 FIRE PERFORMANCE.
 - ALL INTERIOR PAINT SHALL BE MIN TWO COATS OF SHERWIN WILLIAMS PROMAR-200 OVER 1 COAT OF PRIMER
 - ALL EXTERIOR PAINT SHALL BE MIN. TWO COATS OF SHERWIN WILLIAMS EMERALD EXTERIOR ACRYLIC LATEX PAINT
 - ALL PAINTING AREAS SHALL RECEIVE 8"X8" SAMPLE MOCK UP FOR APPROVAL PRIOR TO PAINTING



1 1ST FL. REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

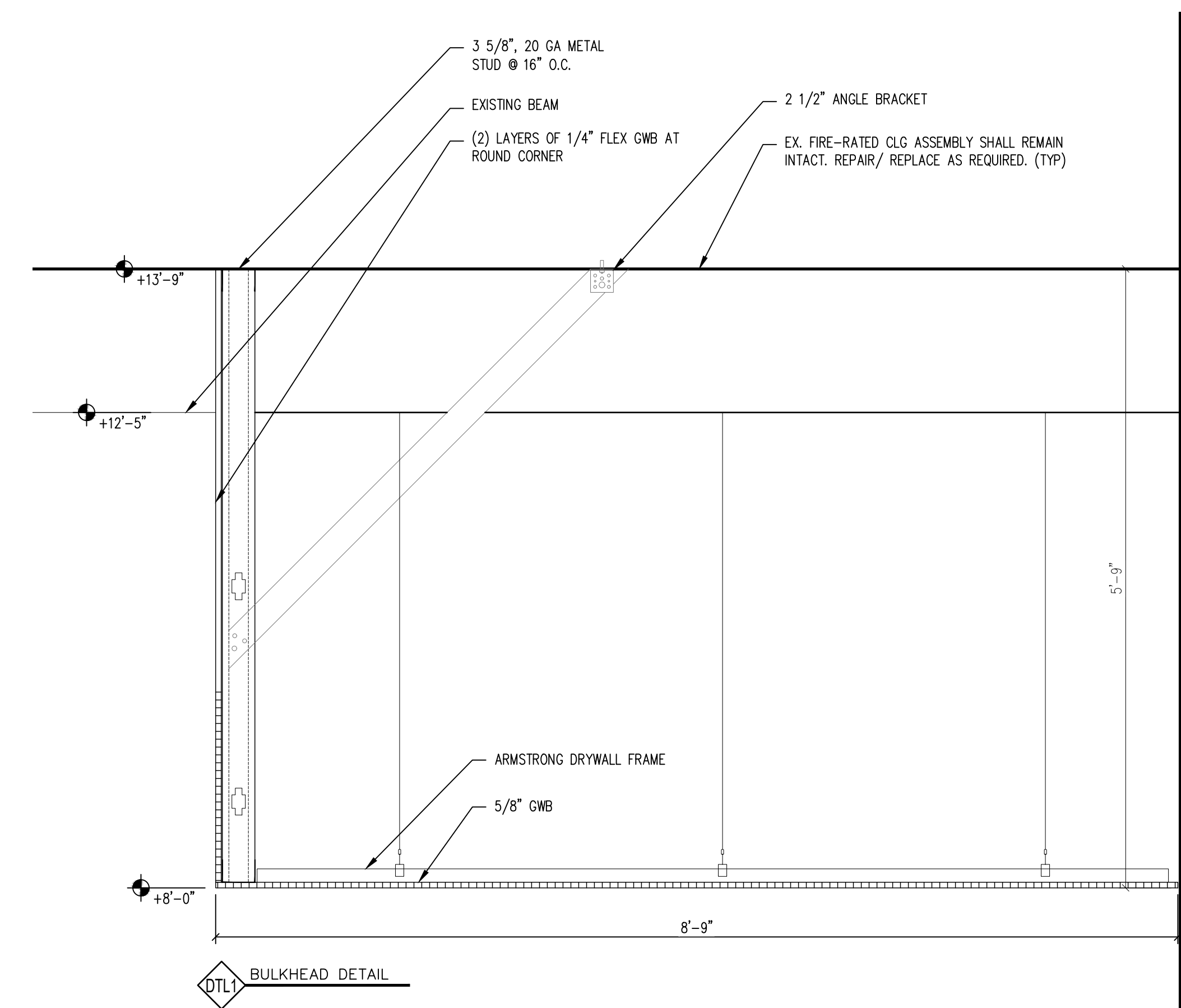


2 1ST FL. FINISH PLAN
 SCALE: 1/4" = 1'-0"

<p>D1 KITCHEN DOOR</p> <ul style="list-style-type: none"> • SIZE : (2) X 1'-11 3/4" x 7'-0" • DOOR TYPE: CURTRON SERVICE-PRO SERIES 20 DOUBLE SWINGING DOOR • DOOR FINISH: SILVER 	<p>D2 RESTROOM DOOR</p> <ul style="list-style-type: none"> • SIZE : 3'-0" x 7'-0" • TYPE : 1 3/4" LAMINATED SOLID WOOD DOOR • DOOR TYPE: LAMINATED SOLID WOOD DOOR (1-3/4") • DOOR FINISH: BIRCH VEENER • FRAME : 5" DOUBLE RABBIT METAL, 16 GAUGE, VERIFY THROAT THICKNESS • LOCK : PRIVACY LOCK INSIDE, HANDLE ON BOTH SIDES • HINGES : (3) 1 1/2" PAIR BALL BEARING HINGES • CLOSER : LCN NO 4040, CUSH-N-STOP WITH HOLD OPEN ARM • DOOR STOP : 1 FLOOR DOME STOP 243F US 26D HAGER • ALLOWANCE : ALLOW CLEARANCE FOR FLOORING 	<p>D3 JAN.'S CL. DOOR</p> <ul style="list-style-type: none"> • SIZE : 2'-6" x 7'-0" • TYPE : 1 3/4" LAMINATED SOLID WOOD DOOR • DOOR TYPE: LAMINATED SOLID WOOD DOOR (1-3/4") • DOOR FINISH: BIRCH VEENER • FRAME : 5" DOUBLE RABBIT METAL, 16 GAUGE, VERIFY THROAT THICKNESS • LOCK : STORAGE KEY LOCK, HANDLE ON BOTH SIDES • HINGES : (3) 1 1/2" PAIR BALL BEARING HINGES • CLOSER : LCN NO 4040, CUSH-N-STOP WITH HOLD OPEN ARM • DOOR STOP : 1 FLOOR DOME STOP 243F US 26D HAGER • ALLOWANCE : ALLOW CLEARANCE FOR FLOORING 	<p>D4 RESIDENTIAL FLOORS' ENTRANCE DOOR</p> <ul style="list-style-type: none"> • SIZE : 4'-6" x 9'-0" W/ 3'-0" x 7'-0" DOOR • GLASS : 1" INSULATED TEMPERED GLASS • DOOR TYPE: ALUMINUM DOUBLE DOOR WITH 1" INSULATED TEMPERED GLASS • FRAME: 2" ALUMINUM FRAME COLOR: ANODIZED BRONZE • LOCK : ELECTRONIC LATCH, ELECTRONIC CARD ACCESS SYSTEM • HINGES : CONTINUOUS ROTON HINGE • CLOSER : LCN NO 4040, CUSH-N-STOP WITH HOLD OPEN ARM • DOOR STOP : 1 FLOOR DOME STOP 243F US 26D HAGER • ALLOWANCE : ALLOW CLEARANCE FOR FLOORING 	<p>D5 CAFETERIA ENTRANCE DOOR</p> <ul style="list-style-type: none"> • SIZE : 10'-4" x 9'-0" W/ 3'-0" x 7'-0" DOOR • GLASS : 1" INSULATED TEMPERED GLASS • FRAME: 2" ALUMINUM FRAME COLOR: ANODIZED BRONZE • LOCK : THUMB TURN LOCK INSIDE, HANDLE ON BOTH SIDES KEY LOCK OUTSIDE • HINGES : CONTINUOUS ROTON HINGE • CLOSER : LCN NO 4040, CUSH-N-STOP WITH HOLD OPEN ARM • DOOR STOP : 1 FLOOR DOME STOP 243F US 26D HAGER • ALLOWANCE : ALLOW CLEARANCE FOR FLOORING 	<p>D6 EXIT DOOR</p> <ul style="list-style-type: none"> • SIZE : 3'-0" x 7'-0" • GLASS : 1" INSULATED TEMPERED GLASS • FRAME: 2" ALUMINUM FRAME COLOR: ANODIZED BRONZE • LOCK : THUMB TURN LOCK INSIDE, HANDLE ON BOTH SIDES KEY LOCK OUTSIDE • HINGES : CONTINUOUS ROTON HINGE • CLOSER : LCN NO 4040, CUSH-N-STOP WITH HOLD OPEN ARM • DOOR STOP : 1 FLOOR DOME STOP 243F US 26D HAGER • ALLOWANCE : ALLOW CLEARANCE FOR FLOORING
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D7 BASEMENT STAIRS DOOR

- SIZE : 2'-6" x 7'-0"
- TYPE : 1 3/4" SOLID METAL DOOR COLOR: ALUMINUM
- FRAME : 5" DOUBLE RABBIT METAL, 16 GAUGE, VERIFY THROAT THICKNESS
- LOCK : STORAGE KEY LOCK, HANDLE ON BOTH SIDES
- HINGES : (3) 1 1/2" PAIR BALL BEARING HINGES
- DOOR STOP : 1 FLOOR DOME STOP 243F US 26D HAGER
- ALLOWANCE : ALLOW CLEARANCE FOR FLOORING

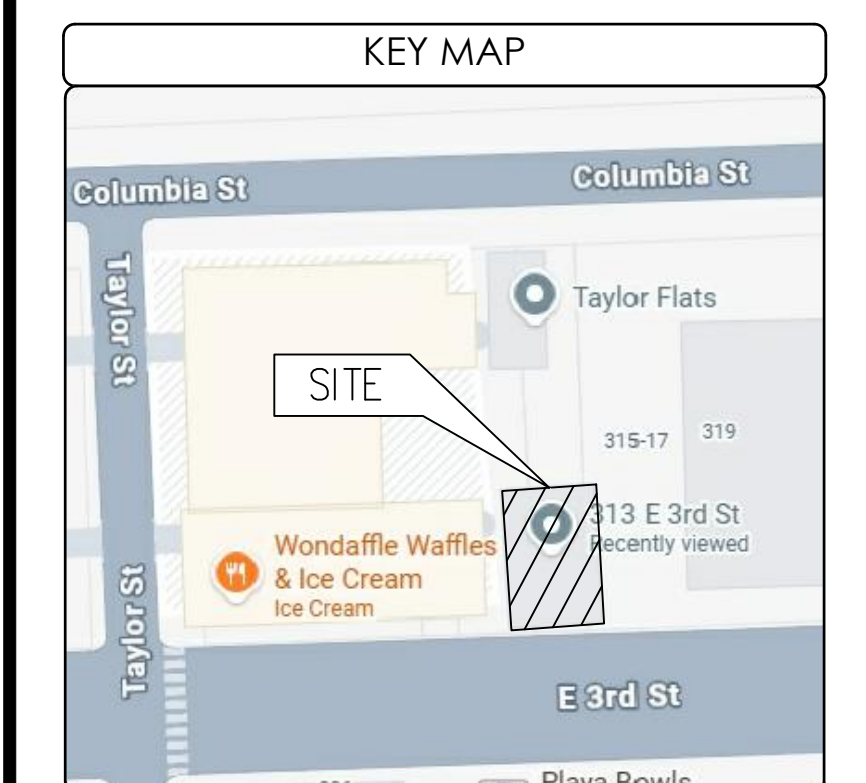


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DESIGN || CONSTRUCTION
 MANAGEMENT || CONSULTING



No.	Date:	Revision:

Project No: 2627 / 26020
 Date: 04/19/2026
 Drawn By: R.O./K.K.
 Checked By: J.Y.A.

Project: PROPOSED CAFE ALTERATION & RENOVATION PROJECT
 313 E 3RD ST., BETHLEHEM PA 18015
 Client: -

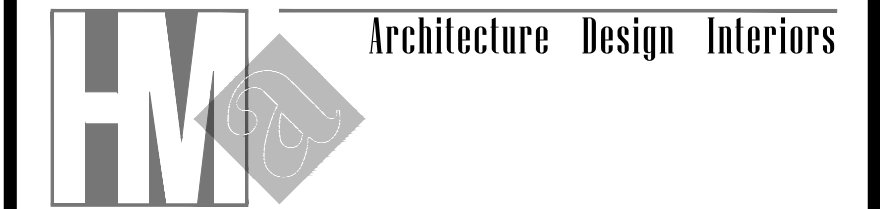
Scale: As Noted
 Lot: 6
 Block: 2

Drawing title: DOOR SCHEDULES

Seal: Nassir Almukhtar, RA
 PA Lic. # RA4041

Drawing No: **A-160**
 Heritage Madison Architecture, LLC

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DESIGN || CONSTRUCTION
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FAN SCHEDULE

UNIT I.D.	MANUFACTURER	MODEL	LOCATION	TYPE	FAN			MOTOR		
					CFM	SP-INCH	FRPM	AMPS	VOLTAGE	RPM
TX-1	BROAN	RB110L	RESIDENTIAL RESTROOMS	-	100	0.2	-	1	115V-1PH	-
KX-1	GREENHECK	CUE-90	FOOD PREPARING ROOM	-	1000	0.03	-	1.7	115V-1PH	1550

DIFFUSERS REGISTERS AND GRILLES

MANUFACTURER	MODEL	TYPE	SERVICE	CFM RANGE (MAX)	FACE SIZE	NOMINAL NECK SIZE (INCH)	SLOT	NC @ MAX CFM	MATERIAL	BORDER	REMARKS
NAILOR	6500	TL	SUPPLY	50-75	6"x6"	6	NA	8	STEEL	SEE PLANS	1,2,3,4
NAILOR	6500	TL	SUPPLY	200-300	15"x15"	8	NA	15	STEEL	SEE PLANS	1,2,3,4
NAILOR	6500	TL	SUPPLY	1350	24"x24"	8	NA	25	STEEL	SEE PLANS	1,2,3,4
NAILOR	ARNR	RCD	SUPPLY	428	14"	8	NA	15	STEEL	SEE PLANS	1,2,3,4
NAILOR	ARNR	RCD	SUPPLY	1257	24"	8	NA	-	STEEL	SEE PLANS	1,2,3,4

- PROVIDE FACE OPERATED DAMPER FOR ALL DIFFUSERS THAT ARE NOT ACCESSIBLE THROUGH CEILING LINES.
- COORDINATE EXACT LOCATION AND COLOR WITH ARCHITECTS DRAWINGS.
- PROVIDE DIFFUSERS WITH EQUALIZING GRID AND OPPOSED BLADE DAMPERS.
- PROVIDE IN LAY-IN CEILINGS WITH TYPE 3 FRAME. FOR 2-WAY OR 3-WAY BLOW, BLANK OF NECK (NECK TO BE NEXT SIZE).

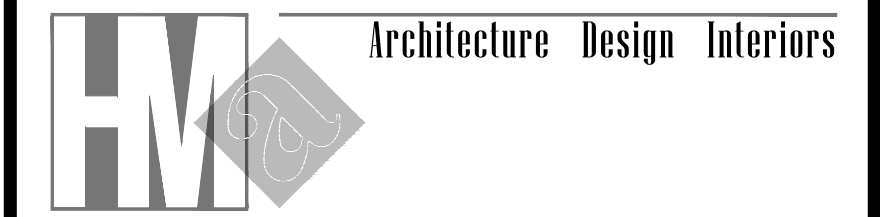
ROOFTOP UNIT SCHEDULE

UNIT ID.	MANUFACTURER	MODEL	LOCATION	SERVICE	ELECTRIC	MCA	FAN				COOLING CAPACITY		GAS HEATING CAPACITY		COND EAT (°F)	OPERATING WEIGHT (LBS)	DISCHARGE	OUTSIDE AIR	REMARKS
							CFM	ESP IN WG	MOTOR HP	MOTOR RPM	TC MBH	SEER	INPUT MBH	OUTPUT MBH					
RTU-1, RTU-2	GOODMAN	GFCMS2406041AA	ROOF	2ND&3RD FL	208V-1PH-60Hz	-	800	1.0	0.3	810	23	11.2	60	48.6	55	95	370	-	1,2,3,4,5,6,7,8,9,10

- HEATING AND COOLING TYPE FULLY PROGRAMMABLE SPLIT TYPE ELECTRONIC THERMOSTAT.
- SUPPLY DUCT DETECTOR
- VARIABLE PITCH DRIVE ASSEMBLY
- H-O-A STARTER
- DISCONNECT SWITCH
- LOW AMBIENT TEMPERATURE CONTROL
- MOTORIZED ECONOMIZER
- BAROMETRIC RELIEF DAMPER
- ROOF DUNNAGE, UNISTRUT HVAC DUNNAGE SYSTEM. FIELD VERIFY EXACT SIZE

Whole House Block Load

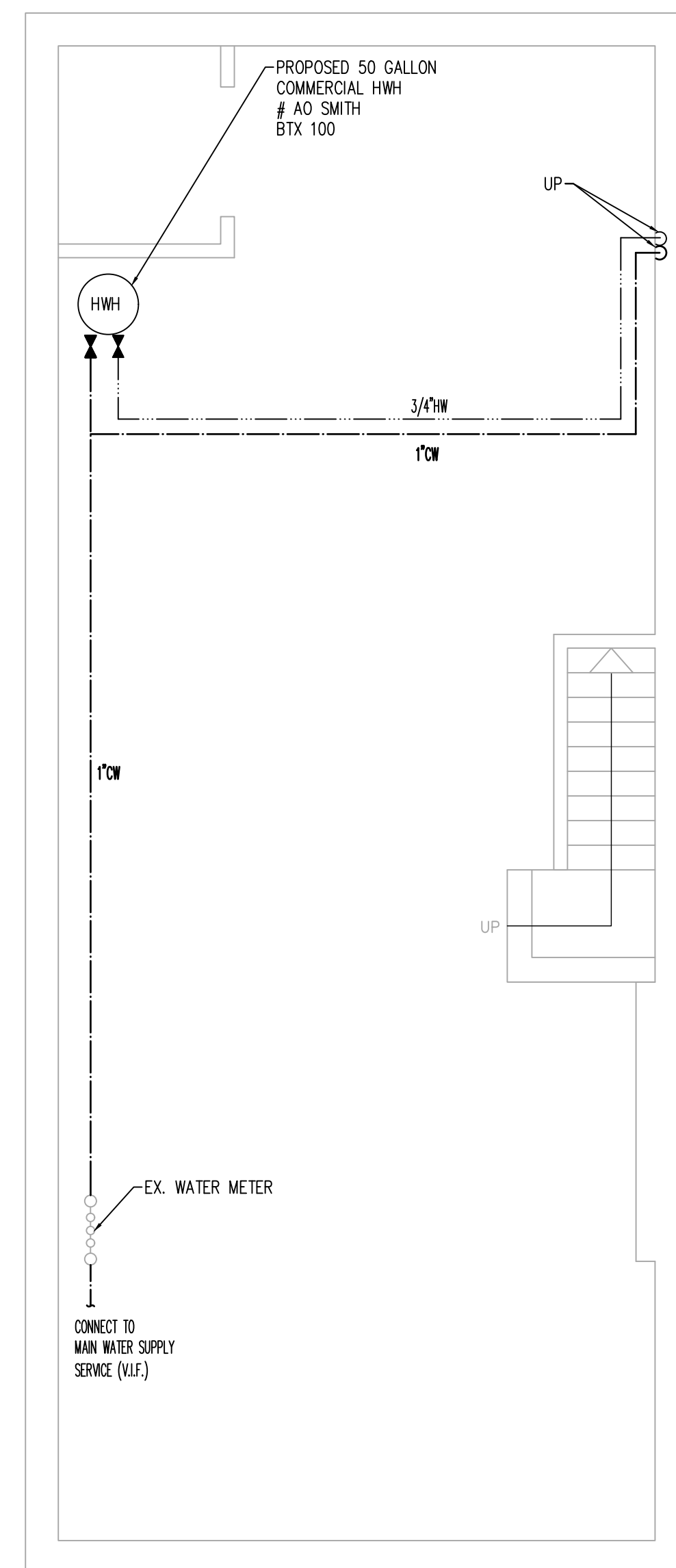
Room	Area (sq ft)	Volume (cu ft)	Load (BTU/hr)
Living Room	1200	12000	1000
Bedroom	1000	10000	800
Bathroom	500	5000	400
Kitchen	800	8000	600
Restroom	300	3000	200
Basement	1500	15000	1200
Attic	1000	10000	800
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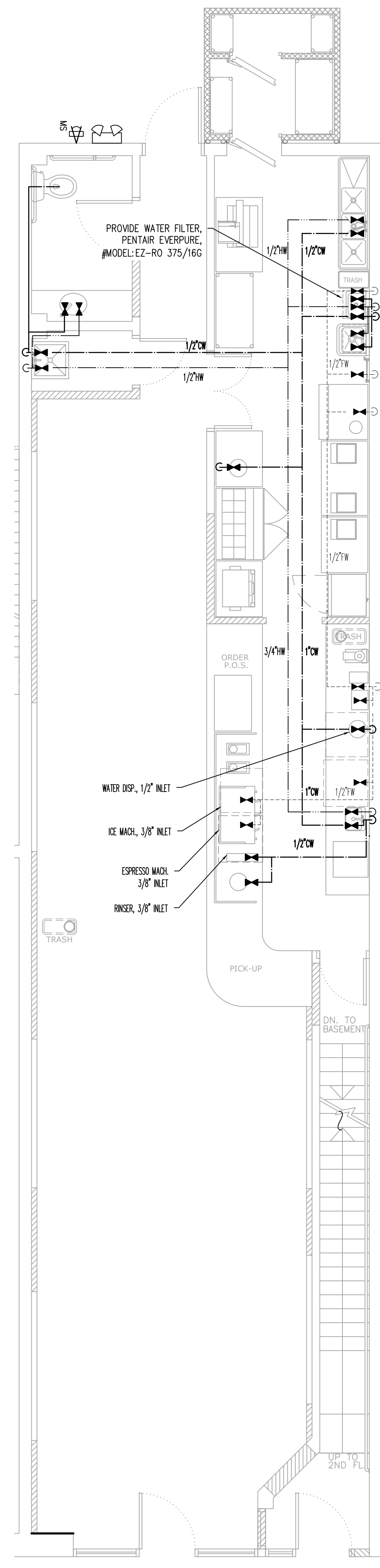
GENERAL PLUMBING NOTES:

- FURNISH AND INSTALL ALL FIXTURES AND MATERIAL NECESSARY FOR THE COMPLETE PLUMBING SYSTEM WITHIN THE CONFINES OF THE BUILDING, AS SHOWN OR NOTED ON PLANS. ALL WORK SHALL BE DONE IN A NEAT AND WORKMAN-LIKE MANNER.
- ALL WATERLINES BELOW THE FLOOR UP TO 3/4" SHALL BE TYPE 'L' SOFT DRAWN COPPER TUBING WITH NO JOINTS, WHERE BENDS ARE REQUIRED A TUBING BENDER SHALL BE USED; ALL WATERLINES BELOW THE FLOOR 1" OR GREATER SHALL BE TYPE 'L' HARD DRAWN COPPER TUBING WITH WROUGHT COPPER OR CAST BRASS FITTINGS. JOINTS SHALL BE PROPERLY REAMED TO FULL BORE, CLEANED, FLUXED AND SWEAT SOLDERED USING 'LEAD FREE' FLUX AND SOLDER.
- ALL WATERLINES ABOVE THE FLOOR SHALL BE TYPE 'L' HARD DRAWN COPPER TUBING WITH WROUGHT COPPER OR CAST BRASS FITTINGS. JOINTS SHALL BE PROPERLY REAMED TO FULL BORE, CLEANED, FLUXED AND SWEAT SOLDERED USING 'LEAD FREE' FLUX AND SOLDER. ALL WATERLINES WITHIN EACH APARTMENT AFTER SUB-METER MAY BE PEX OR CPVC PIPING IF APPROVED BY OWNER.
- COPPER TUBING SHALL BE SUPPORTED AT EACH FIXTURE AND AT INTERVALS NOT EXCEEDING 4'-0" FOR VERTICAL PIPING AND AT INTERVALS NOT EXCEEDING 6'-0" FOR HORIZONTAL PIPING.
- ALL WATERLINES BELOW BUILDING, IN EXTERIOR WALLS, OR IN CAVITY ADJACENT TO EXTERIOR WALLS SHALL BE INSULATED WITH ARMORFLEX PIPE INSULATION HAVING A MINIMUM WALL THICKNESS OF ONE HALF INCH. WATERLINES SHALL NOT BE INSTALLED IN OUTSIDE WALLS UNLESS SPECIFICALLY APPROVED BASED ON GEOGRAPHIC LOCATION OF BUILDING.
- COPPER WATERLINES PASSING THROUGH WALLS AND FLOORS SHALL BE PROTECTED AGAINST CORROSION WITH SLEEVES OF SUITABLE MATERIAL. PROPERLY SIZED ESCUTCHEON PLATES SHALL BE INSTALLED AT POINT OF FLOOR AND WALL PENETRATIONS.
- DRAIN, WASTE, AND VENT PIPING SHALL BE SCHEDULE 40 D.W.V. PVC, CONFORMING TO ASTM D2665 & D3311, U.S. FEDERAL SPECIFICATION L-P-302-B, AND ANSI A119.1 & A119.2. ALL JOINTS SHALL BE PROPERLY REAMED TO FULL BORE, CLEANED, PRIMED, AND SOLVENT WELDED. DRAIN, WASTE, AND VENT PIPING SHALL BE SUPPORTED AT EACH FIXTURE AND AT BASE OF VENT STACKS. VERTICAL PIPING SHALL SUPPORTED AT SUFFICIENTLY CLOSE INTERVALS AS TO KEEP IT IN ALIGNMENT AND TO PREVENT SAGGING. HORIZONTAL PIPING SHALL BE SUPPORTED AT SUFFICIENTLY CLOSE INTERVALS AS TO KEEP IT IN ALIGNMENT AND TO PREVENT SAGGING, BUT NOT LESS THAN 4'-6" INTERVALS. ALL PVC PIPE WITHIN HVAC RETURN AIR PLENUM SHALL BE RAPPED WITH 2 HR RATED PLENUM WRAP INSULATION ACCORDING TO NFPA REQUIREMENTS TO THE BUILDING OFFICIAL'S SATISFACTION.
- NATURAL GAS PIPING BURIED WITHIN 5' OF BUILDING SHALL BE STEEL PIPE CONFORMING WITH ASTM A53/A53M SCHEDULE 40 BLACK FITTINGS SHALL BE CONFORMING WITH ASTM A234/A234M FORCED STEEL WELDING TYPE. JOINTS SHALL BE CONFORMING ASME B31.9, WELDED, FOR 3" AND LARGER; THREADER FOR 2" AND SMALLER.
- NATURAL GAS PIPING ABOVE GRADE SHALL BE STEEL PIPE CONFORMING ASTM A53/A53M SCHEDULE 40 BLACK. FITTINGS SHALL BE CONFORMING ASME B16.3, MALLEABLE IRON, 150 PSIG. JOINTS SHALL BE THREADED FOR PIPE 2 INCH AND SMALLER; WELDED FOR PIPE 2-1/2 INCHES AND LARGER.
- ALL FLOOR DRAINS, FLOOR SINKS AND HUB DRAINS SHALL HAVE PROPERLY INSTALLED TRAP PRIMING DEVICE.
- ALL HOSE THREADED CONNECTIONS SHALL HAVE PROPERLY INSTALLED VACUUM BREAKERS.
- VENT EXTENSIONS THROUGH THE ROOF SHALL BE A MINIMUM OF 3 INCHES IN DIAMETER, WHERE NECESSARY TO INCREASE THE SIZE OF THE VENT PIPE, SUCH INCREASE SHALL BE A MINIMUM OF 12 INCHES BELOW THE ROOF LINE. VENTS SHALL TERMINATE A MINIMUM OF 12 INCHES ABOVE THE ROOF LINE, WHEN NECESSARY (DUE TO SHIPPING HEIGHT LIMITATIONS) PROVIDE VENT TERMINAL EXTENSIONS TO BE INSTALLED AT JOB-SITE.
- TRAPS BELOW THE FLOOR THAT CANNOT BE HELD ABOVE BOTTOM OF BASEFRAME, SHALL BE DRY FITTED, PROPERLY NUMBERED, LABELED, AND SHIPPED WITH BUILDING TO BE INSTALLED AT JOBSITE.
- PROVIDE PVC PRIMER AND PVC CEMENT OF SUFFICIENT QUANTITY TO INSTALL TRAPS AND VENT EXTENSIONS. TESTING : ROUGH-IN TESTING DRAIN, WASTE, AND VENT SYSTEM SHALL BE TESTED BY CLOSING OFF ALL OPENINGS EXCEPT VENT TERMINATIONS AT ROOF LINE, FILL ALL HORIZONTAL AND VERTICAL PIPING WITH WATER AND CHECK FOR LEAKS. ANY LEAKS SHALL BE REPAIRED AND TEST REPEATED. POTABLE WATERLINES SHALL BE TESTED WITH A SINGLE CHARGE OF AIR AT 100psi, PRESSURE SHALL HOLD FOR A PERIOD OF THIRTY MINUTES WITHOUT ANY LOSS. ANY LEAKS SHALL BE REPAIRED AND TEST REPEATED. AFTER OBTAINING SUCCESSFUL TESTS G.C. SHALL CALL FOR INSPECTION AND APPROVAL PRIOR TO ANY PLUMBING BEING CONCEALED. FINAL TEST OF WATER SUPPLY SYSTEM AFTER FIXTURES ARE SET, WATER PIPING SHALL BE TESTED WITH A SINGLE CHARGE OF AIR AT 50psi, PRESSURE SHALL HOLD FOR A PERIOD OF THIRTY MINUTES WITHOUT ANY LOSS. ANY LEAKS SHALL BE REPAIRED AND TEST REPEATED. AFTER OBTAINING SUCCESSFUL TEST, CALL FOR FINAL INSPECTION AND OPERATION TEST.

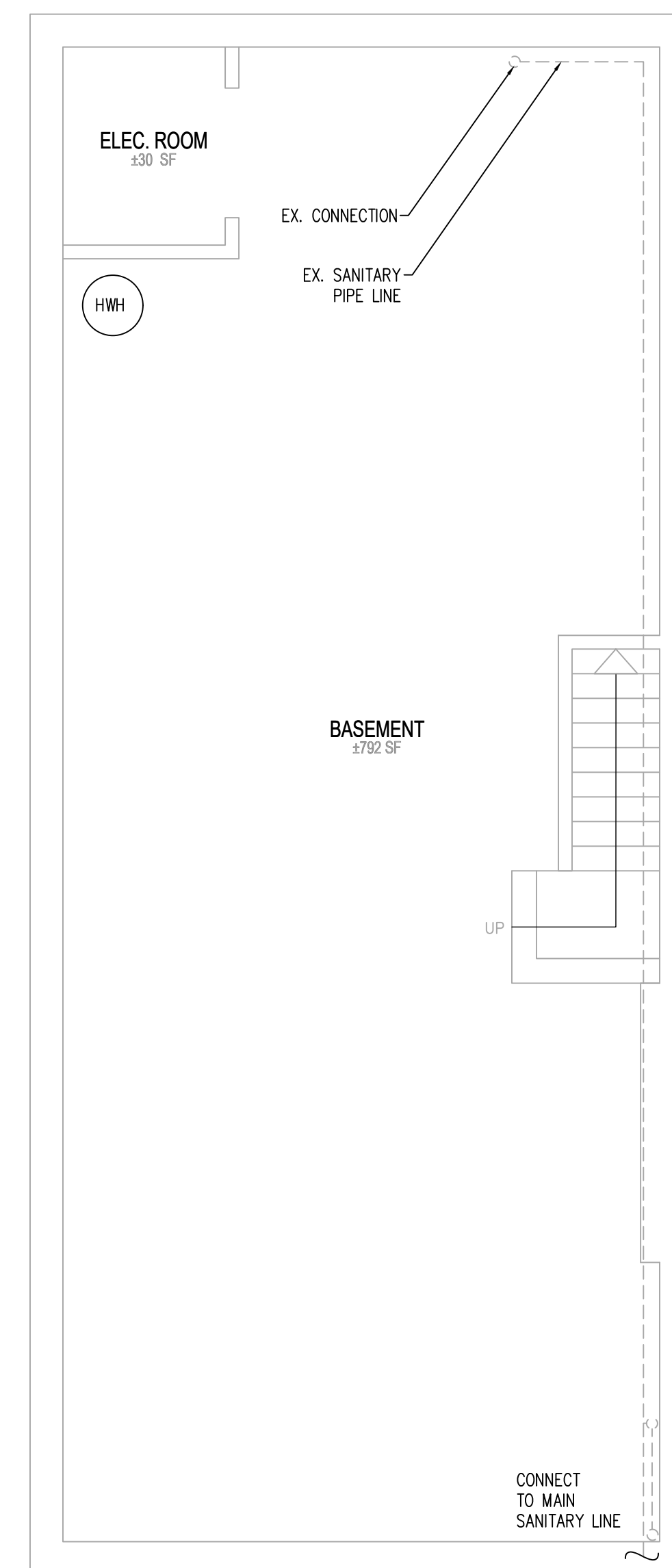
PLUMBING FIXTURE SIZE SCHEDULE									
NO	EQUIPMENT	CW	HW	GAS	WASTE	SANITARY INDIRECT WASTE	VENT	REMARKS	
1	3 COMP. SINK	1/2"	1/2"	-	1 1/2"	-	2"	2"	KITCHEN
2	FOOD SINK	1/2"	1/2"	-	1 1/2"	-	1 1/2"	-	KITCHEN
3	HAND SINK	1/2"	1/2"	-	1 1/2"	-	1 1/2"	-	KITCHEN
4	FLOOR SINK	-	-	-	3"	-	2"	-	
5	FLOOR DRAIN	-	-	-	3"	-	2"	-	
6	WATER CLOSET	1"	-	-	3"	-	3"	-	
7	WATER HEATER	3/4"	3/4"	3/4"	-	-	1	-	
8	MOP SINK	1/2"	1/2"	-	3"	-	1 1/2"	-	
9									



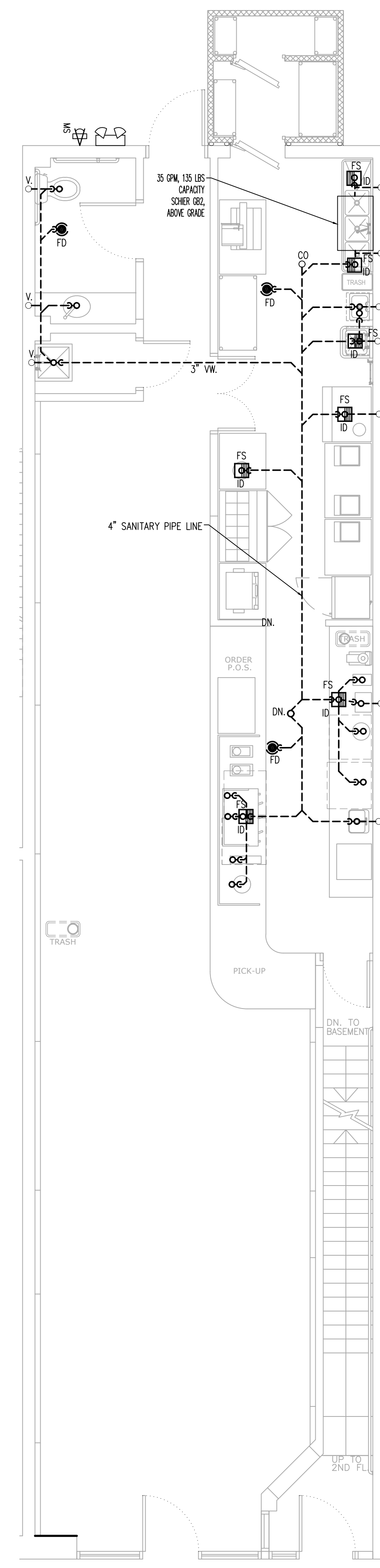
1 BASEMENT WATER SUPPLY PLAN SCALE: 1/4" = 1'-0"



2 CAFE WATER SUPPLY PLAN SCALE: 1/4" = 1'-0"

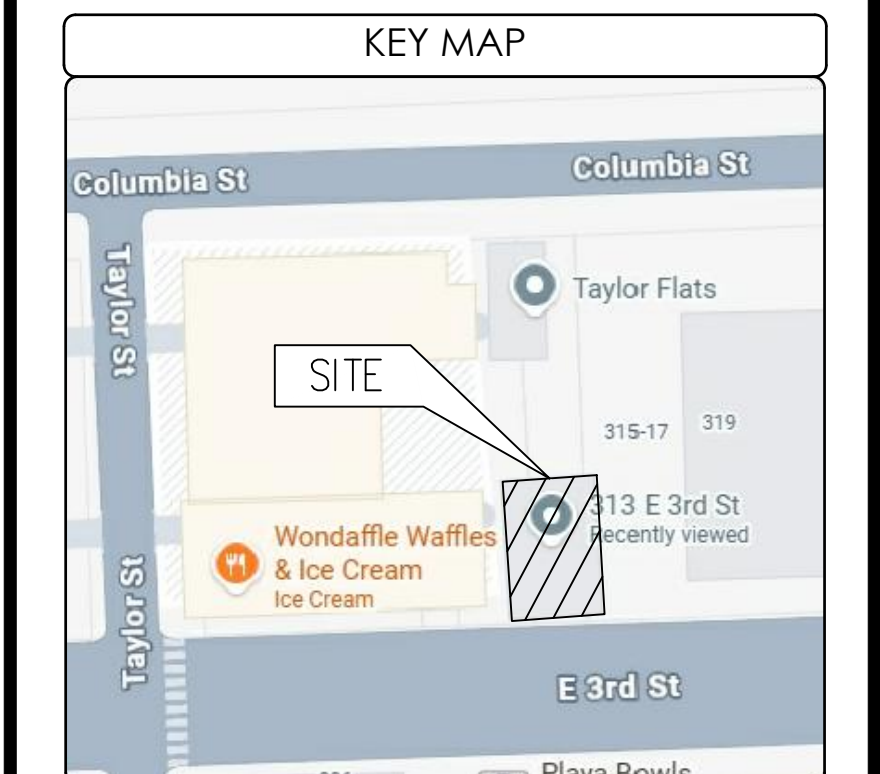


3 BASEMENT WASTE WATER PLAN SCALE: 1/4" = 1'-0"



4 CAFE WASTE WATER PLAN SCALE: 1/4" = 1'-0"

LEGEND	
WC	WATER CLOSET
HWH	WATER HEATER
HW	HOT WATER
HWR	HOT WATER RETURN
CW	COLD WATER
WW	WARM WATER
FW	FILTERED WATER
MS	MOP SINK
HS	HAND SINK
FS	FLOOR SINK
FK	FOOD SINK
FD	FLOOR DRAIN
WWM	WARM WATER MIXER
CO	CLEAN OUT
LAV	LAVATORY
V	VENT
VTR	VENT THROUGH ROOF
WW	WASTE WATER
WF	WATER FILTER
3CS	THREE COMPARTMENT SINK
BFP	BACKFLOW PREVENTER
RPZ	REDUCED PRESSURE ZONE
SAN	SANITARY LINE
ID	INDIRECT DRAIN
- - - - -	FILTERED WATER
- . - . -	DOMESTIC COLD WATER
- - - - -	DOMESTIC HOT WATER
- - - - -	SANITARY WASTE
- - - - -	SANITARY VENT

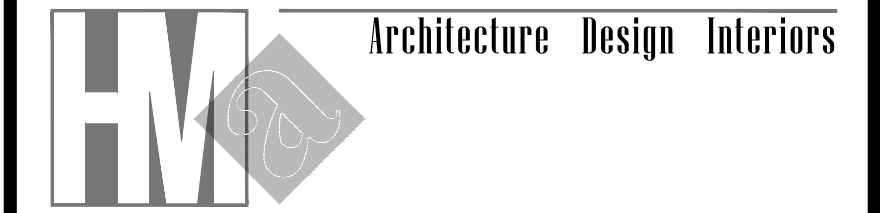


No.	Date:	Revision:

Project No: 2627 / 26020	Project: PROPOSED CAFE ALTERATION & RENOVATION PROJECT
Date: 04/19/2026	313 E 3RD ST., BETHLEHEM PA 18015
Drawn By: R.O./K.K.	Client: -
Checked By: J.Y.A.	Drawing title: WATER SUPPLY & WASTE WATER PLAN
Scale: As Noted	Lot: 6
Block: 2	Drawing No: P-100

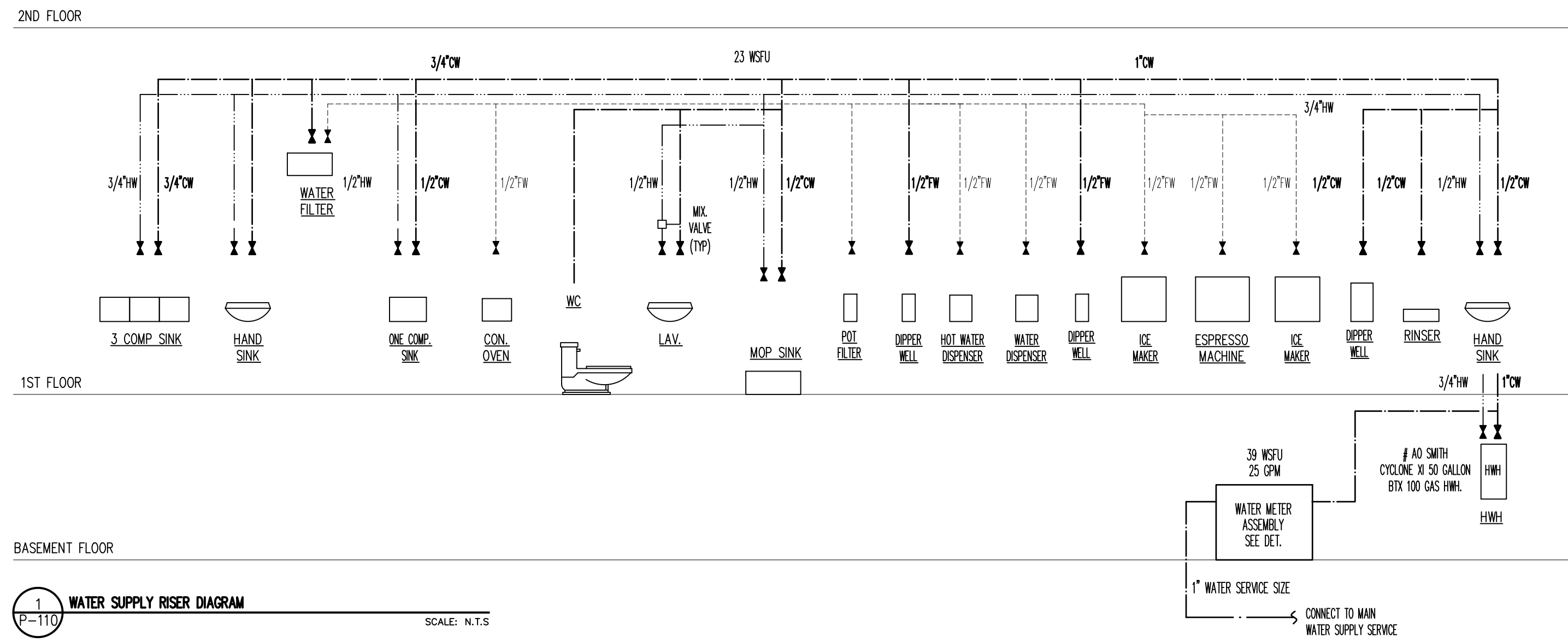
Seal: Nassir Almkhtar, RA PA Lic. # RA4041



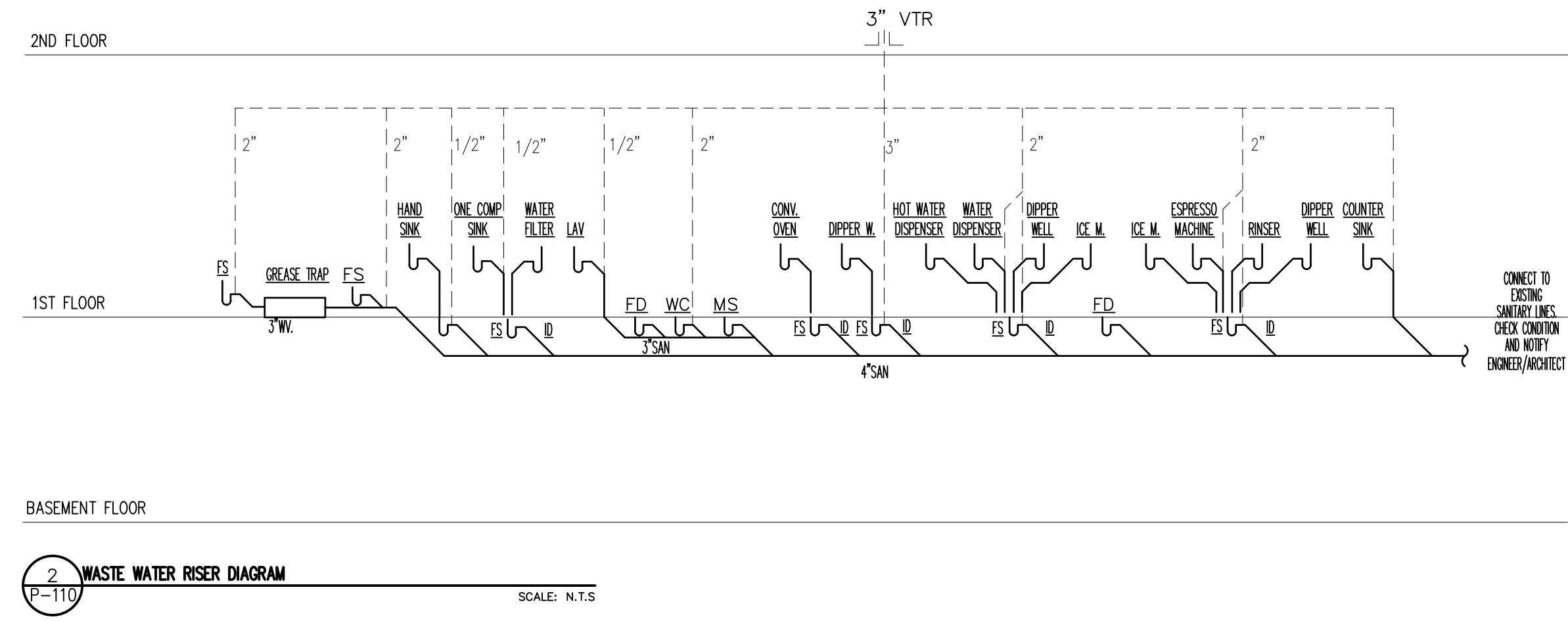


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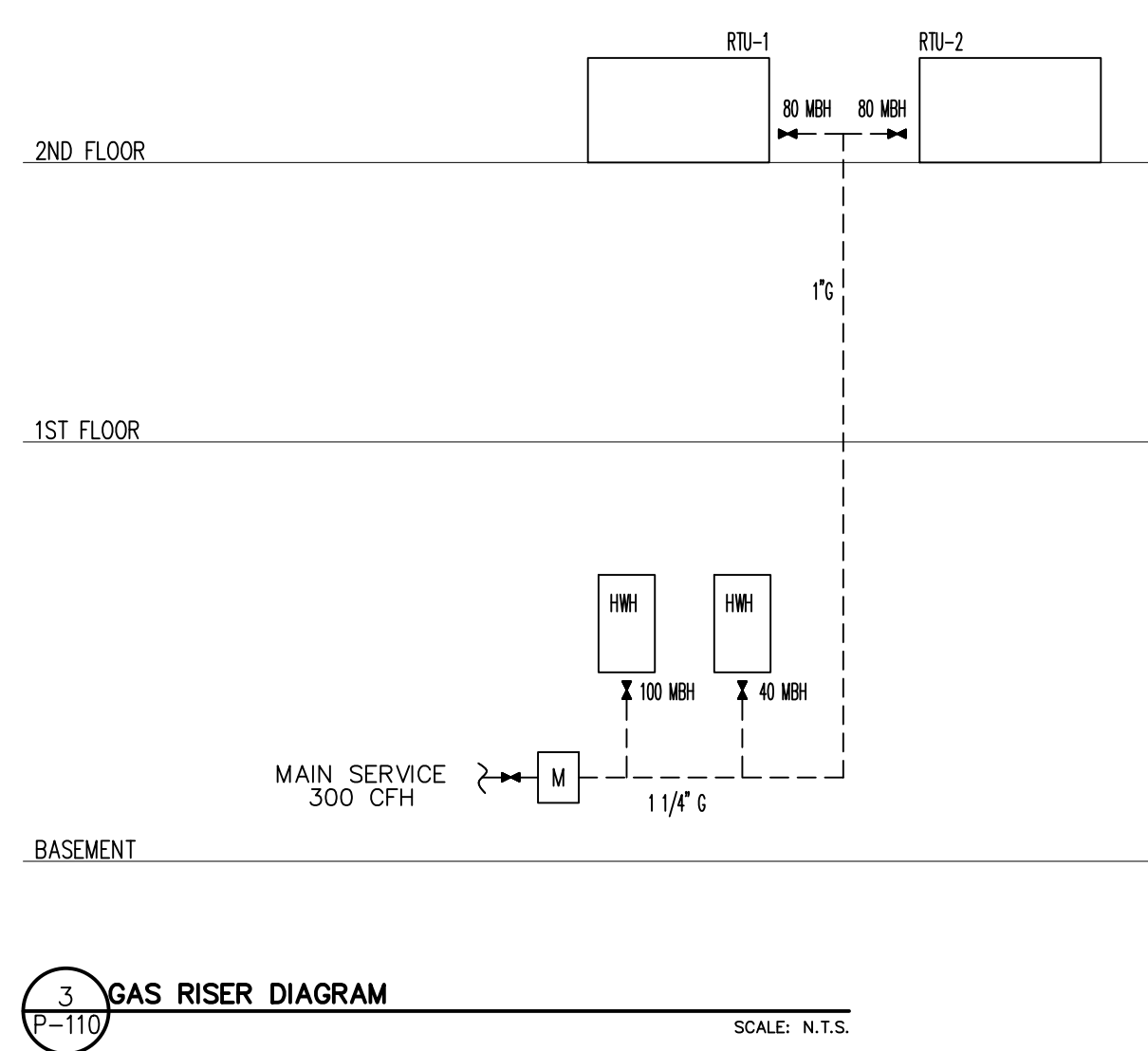
105 Lowell Rd. Glen Rock, NJ 07452
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MANAGEMENT || CONSULTING



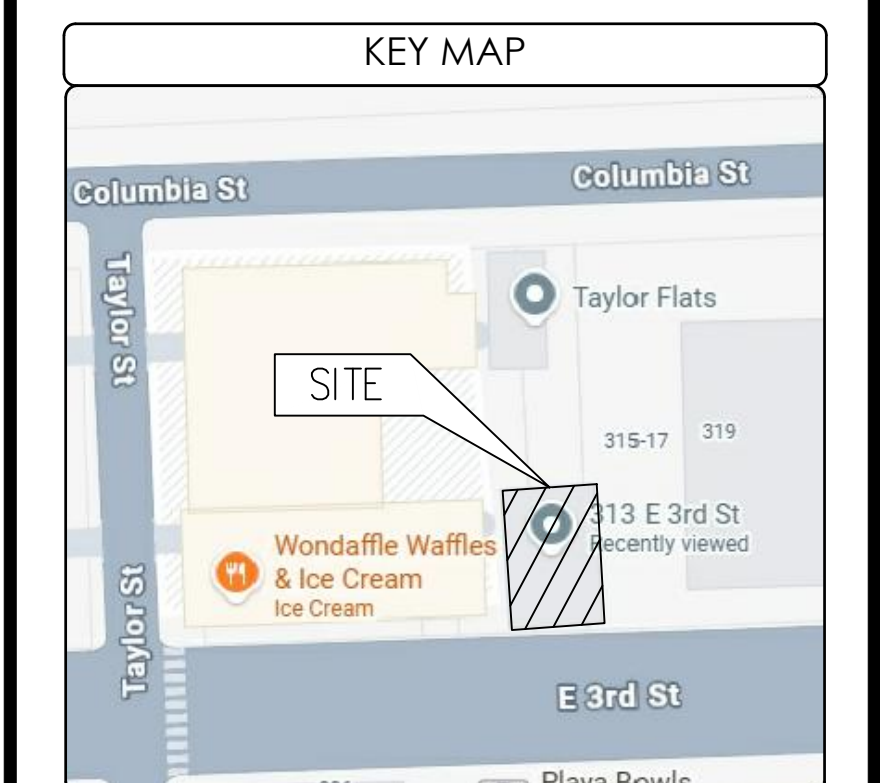
1 WATER SUPPLY RISER DIAGRAM
 P-110 SCALE: N.T.S.



2 WASTE WATER RISER DIAGRAM
 P-110 SCALE: N.T.S.



3 GAS RISER DIAGRAM
 P-110 SCALE: N.T.S.



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Project No: 2627 / 26020	Project: PROPOSED CAFE ALTERATION & RENOVATION PROJECT
Date: 04/19/2026	313 E 3RD ST., BETHLEHEM PA 18015
Drawn By: R.O./K.K.	Client: -
Checked By: J.Y.A.	
Scale: As Noted	Drawing title: WATER SUPPLY, WASTE WATER RISER & GAS RISER DIAGRAMS
Lot: 6	
Block: 2	

Seal: Nassir Almukhtar, RA
 PA Lic. # RA4041
 Drawing No:
P-110
 Heritage Madison Architecture, LLC

